



Staff Report

TO: Planning Commissioners

FROM: Carole Kendrick, Planning Manager

DATE November 9, 2021

SUBJECT: **Plot Plan (PP2021-0386) and Conditional Use Permit (CUP2021-0059) for Consideration of a Request to Demolish the Former Denny's Restaurant and Construct a 2,200 Square Foot Coffee Shop with a Drive-Thru on 0.64 Acres Located on Fourth Street, East of Beaumont Avenue in the Community Commercial Zone. APNS: 418-190-003 and a Portion of 418-190-004 and -005**

APPLICANT: Orum Capital

Background and Analysis:

The applicant is requesting approval of two (2) applications that were submitted on July 30, 2021. The individual requests are broken down below:

Plot Plan No. PP2021-0386 is required by the Beaumont Municipal Code per Section 17.02.070 to establish a new land use. The proposed land use includes a new 2,200 square quick service coffee shop with a drive-thru located at 449 E. Fourth Street. Fast food restaurants with a drive-thru uses are permitted per Beaumont Municipal Code Section 17.02.100 and Table 17.03-3.

Conditional Use Permit No. CUP2021-0059 is required by the Beaumont Municipal Code per Section 17.02.100 and Table 17.03-3 for particular uses. Restaurants with a drive-thru are uses subject to a Conditional Use Permit in the Community Commercial zone. The table also identifies two (2) footnotes for restaurants with drive-thru uses, which are as follows:

2. These uses shall not be located on any parcel which is located within 1,000 feet of any school providing instruction in 12th grade or below, day care center, or youth center.
3. New fast-food restaurants should not be located within 1,000 feet of another fast-food restaurant.

The subject site is not located within 1,000 feet of any of the sensitive receptors identified in footnote No. 2. The proposed drive-thru will be located slightly over 100 feet from the existing Del Taco drive-thru restaurant, however the Beaumont Municipal Code language states that it should be 1,000 feet and not shall, which provides flexibility on a case-by-case basis. Due to the location, access and site constraints, a non-drive-thru use would likely not be feasible at this location.

The applicant did process a Preliminary Review (PLAN2020-0547) application in late 2020 to obtain written comments from staff on the conceptual design and has also entered into a purchase agreement to purchase a portion of two (2) of the City owned parcels to the south (APNS: 418-190-004 and 418—190-005). The purchase agreement was approved by the City Council in August of this year.

Project Setting:

The 0.64-acre site includes one (1) privately owned parcel and a portion of two (2) City owned properties. The site is currently improved with a vacant restaurant (Denny's) with a rolled asphalt curb on the Fourth Street Frontage with no other improvements. The subject properties are surrounded by commercial uses to the north and west, and vacant land to the south and east.

The project setting can also be seen in the following materials attached to this staff report:

- General Plan Land Use Map (Attachment C),
- Zoning Map (Attachment D), and
- Aerial Photograph (Attachment E).

The land uses, zoning, and General Plan land use designations of the project site and surrounding area are shown in the following table.

	LAND USE	GENERAL PLAN	ZONING
PROJECT SITE	Existing Vacant Restaurant	GC (General Commercial)	CC (Community Commercial)
NORTH	Motorcycle Repair Shop	GC (General Commercial)	CC (Community Commercial)

SOUTH	Vacant Land	GC (General Commercial)	CC (Community Commercial)
EAST	Vacant Land	GC (General Commercial)	CC (Community Commercial)
WEST	Del Taco Restaurant	GC (General Commercial)	CC (Community Commercial)

Site Design:

The site currently is developed with a vacant restaurant that is proposed to be demolished to accommodate a 2,200 square foot Starbucks coffee shop with a drive thru. The building is situated on the eastern half of the subject parcel and the drive thru wraps around the building in a horseshoe design with the entrance on the south side of the building and exiting on the north side of the building.

The new parking field will be located on the western portion of the property and to the south of the proposed building. The site can be accessed from a new proposed driveway located on Fourth Street or via an access agreement with the property to the west (Del Taco). The project has also been conditioned to construct half-width improvements on Fourth Street that include curb and gutter, sidewalks and commercial driveway entrance.

The attached Development Plans (Attachment A) include the site layout, grading, elevations and conceptual landscaping.

Architecture:

The proposed project will utilize a modern style of architecture that includes varied rooflines and building planes to create visual interest. Exterior accents include metal cantilever awnings, brick veneers, cornice treatments to create visual interest. The buildings also propose multiple planes for an increased architectural effect.

Exterior finish treatments are comprised of a mixture of painted stucco in beige and tan tones with brown and black for accent colors. The project is proposing parapet roofs

with varied heights between 20 to 25 feet with cornice treatments, as shown in Attachment A.

Circulation and Parking:

Per Beaumont Municipal Code Table 17.05-1 fast food restaurants are calculated at one (1) space per 100 square feet of gross floor area. The proposed drive-thru restaurant will require a minimum of 22 parking spaces. The Municipal Code table also includes footnote 1 that requires a minimum standard vehicle stacking capacity in a drive-thru lane at eight (8) vehicles. The project is proposing to provide 22 parking stalls and stacking for eight (8) vehicles consistent with the Beaumont Municipal Code.

Hours of Operation:

The quick service restaurant is proposing hours between 4:30am to 10pm, seven (7) days a week, as indicated in the applicant statement of operations (see Attachment F).

Multi-Species Habitat Conservation Plan (MSHCP):

The project is found to be consistent with the MSHCP. The project is located outside of any MSHCP criteria area and mitigation is provided through payment of the MSHCP Mitigation Fee.

Development Review Committee (DRC):

The Development Review Committee reviewed for the project for design August 12, 2021. Staff from the various City departments provided written comments that have been incorporated into the proposed conditions of approval.

Environmental Documentation:

This project is exempt from review under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332 in that information contained in the project file and documents incorporated herein by reference demonstrates that: Plot Plan PP2021-0386 and Conditional Use Permit CUP2021-0059 are consistent with the General Commercial General Plan designation and all applicable General Plan policies as well as the applicable zoning designation of Community Commercial; the proposed project site is located within the boundaries of the City of Beaumont; Plan PP2021-0386 and Conditional Use Permit CUP2021-0059 has no value as habitat for endangered, rare or threatened species; there is no substantial evidence in the record that Plan

PP2021-0386 and Conditional Use Permit CUP2021-0059 will result in significant effects related to traffic, noise, air quality or water quality in that the proposed design incorporates and otherwise is subject to air and water quality resource agency design requirements to avoid harmful effects; and the site is or can be adequately served by all required utilities and public services. As such, the project meets the criteria for application of a Class 32 (In-Fill Development) Categorical Exemption under the CEQA Guidelines. Additionally, none of the exceptions provided in CEQA Guidelines Section 15300.2 apply to this project.

Public Communications:

On October 29, 2021, property owners located within a 300-foot radius of the project site were notified of the public hearing. In addition, a notice was published in the Press Enterprise newspaper with a 10-day advanced notice of the hearing. At the time of report preparation, the Planning Department has not received any letters of comment from the public in favor or opposition to the project. Any comments received prior to the time of the scheduled Planning Commission meeting will be provided to the Commission at the time of the public hearing.

Planning Commission Authority:

A plot plan is required per Section 10.02.070 to establish a new land use, or to assume an existing land use, consistent with the zoning of the proposed location and requires a public hearing conducted by the Planning Commission. The Beaumont Municipal Code Section 17.02.070.F authorizes the Planning Commission to approve, conditionally approve, or deny the application.

The Community Commercial zone allows fast food restaurants with a drive thru as a conditionally permitted use, per Table 17.03-3 subject to approval of a Conditional Use Permit. The Beaumont Municipal Code Section 17.02.100.F authorizes the Planning Commission to approve, conditionally approve, or deny the application.

Plot Plan Findings:

1. The proposed use is permitted, or is substantially similar to a use permitted, within the subject zone and complies with the intent of all applicable provisions of the Zoning Ordinance.

The project is subject to and is consistent with the Development Standards for the Community Commercial (CC) zone. The zoning allows fast-food restaurants with a drive-thru subject to a conditional use permit

2. The proposed use is consistent with the objectives, policies, general plan land uses and programs of the general plan and any applicable specific plans.

The proposed project is in conformance with the General Plan for the City of Beaumont. The land use designation for the project site is General Commercial (GC). The proposed development is consistent with the General Plan policies.

3. The subject site is physically suitable for the type and intensity of the proposed land use.

The project is in a commercial area that is partially developed. The is generally flat and is located in a partially developed project and is suitable for commercial development.

4. The location, size, design and operating characteristics of the proposed uses is compatible with existing land uses within the general area in which the proposed use is located.

The zoning for the project site is Community Commercial (CC) and the land use designation is and General Commercial (GC). The proposed project is surrounded by property that is currently zoned Community Commercial and designated as General Commercial in the General Plan. The site is surrounded by partially developed land. The proposed uses are compatible with the surrounding commercial zoned properties

5. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed land use would not be detrimental to the public convenience, health, safety or general welfare.

The site is served by the Beaumont-Cherry Valley Water District for water services and the City of Beaumont for sewer disposal system. Electricity will be provided by Southern California Edison and natural gas will be provided by the Southern California Gas Company. Solid waste and refuse services are provided by Waste Management, Inc. on behalf of the City of Beaumont. The site can be adequately served and will not be detrimental to public health and safety.

6. The approval of the plot plan permit for the proposed uses is in compliance with the requirements of the California Environmental Quality Act and there would be no significant adverse impacts upon environmental quality and natural resources that cannot be reasonably mitigated and monitored.

The project is exempt from CEQA under Section 15332 In-Fill Development Projects. There are no adverse impacts anticipated by this project.

Conditional Use Permit Findings:

The Planning Commission may approve and/or modify a Conditional Use Permit in whole or in part, with or without conditions, provided that all of the following findings of fact are made:

1. The proposed uses conditionally permitted within the subject zone and complies with the intent of all applicable provisions of this Zoning Ordinance.

The project is subject to and is consistent with the Development Standards for the Community Commercial (CC) zone. The zoning allows fast-food restaurants with a drive-thru subject to a conditional use permit.

2. The proposed uses would not impair the integrity and character of the zone in which it is to be located.

The subject property is zoned Community Commercial (CC) allows fast-food restaurants with a drive-thru subject to a Conditional Use Permit. The site is located in an area that is surrounded by currently zoned Community Commercial (CC) properties and will not impair the integrity or character of the zone.

3. The subject site is physically suitable for the type of land use being proposed.

The project is in a commercial area that is partially developed. The is generally flat and is located in a partially developed project and is suitable for commercial development.

4. The proposed uses are compatible with the land uses presently on the subject property.

The project is in a commercial area that is partially developed with a Del Taco drive-thru-restaurant to the west, American V-Twin motorcycle repair shop to the north

and vacant land to the east and south. The is generally flat, partially developed and is suitable for commercial development.

5. The proposed uses would be compatible with existing and future land uses within the zone and the general area in which the proposed use is to be located.

The zoning for the project site is Community Commercial (CC) and the land use designation is and General Commercial (GC). The proposed project is surrounded by property that is currently zoned Community Commercial and designated as General Commercial in the General Plan. The site is surrounded by partially developed land. The proposed uses are compatible with the surrounding commercial zoned properties.

6. There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

The site is served by the Beaumont-Cherry Valley Water District for water services and the City of Beaumont for sewer disposal system. Electricity will be provided by Southern California Edison and natural gas will be provided by the Southern California Gas Company. Solid waste and refuse services are provided by Waste Management, Inc. on behalf of the City of Beaumont. The site can be adequately served and will not be detrimental to public health and safety.

7. There would be adequate provisions for public access to serve the subject proposal.

There is adequate access to the site as determined by the City's public safety departments. The site has access from 4th Street.

8. The proposed use is consistent with the objectives, policies, general land uses, and programs of the City of Beaumont General Plan.

The proposed project is in conformance with the General Plan for the City of Beaumont. The land use designation for the project site is General Commercial (GC). The proposed development is consistent with the General Plan policies.

9. The proposed use would not be detrimental to the public interest, health, safety, convenience, or welfare.

The proposed project meets all the development standards under the Community Commercial zoning, which is intended to protect the public interest, health, safety, convenience, or welfare. The quick service restaurant with a drive-thru will provide a convenience for the public that will not be detrimental to public health, safety or welfare.

10. The proposed design and elevations preserve and maximize the image, character, and visual quality of the neighborhood.

The proposed design and elevations are compatible with the commercial development to the north and will provide a consistent image that complements the character of the commercial properties that are developed in the area.

11. The Planning Commission shall find that the proposed use does not have a disproportionately high and adverse human health or environmental effect on minority and low-income populations.

This use will not have an adverse effect on humans or the environment for any population. The proposed project will provide a quick service restaurant to serve all income levels of the population.

12. This subsection G shall apply only to the uses identified in Chapter 17.03. This subsection shall not invalidate any conditional use permit for an operation facility but shall be complied with prior to issuance of a building permit for all projects which no building permit has been issued upon the effective date of this provision.

Recommended Action:

Hold a public hearing,
Approve Plot Plan PP2021-0386 and Conditional Use Permit CUP2021-0059,
subject to the attached Conditions of Approval, and
Direct staff to prepare a Notice of Exemption for the applicant to file with the
Riverside County Clerk Recorder.

Attachments:

- A. Development Plan
- B. Draft Conditions of Approval
- C. General Plan Land Use Designation Map

- D. Zoning Map
- E. Aerial Photograph
- F. Applicant's letter regarding the statement of operations
- G. Proof of Publication

Incorporated herein by Reference:

City of Beaumont General Plan
City of Beaumont Zoning Ordinance
Project Site's Riverside Conservation Authority Multi-Species Habitat Conservation Plan
Informational Map
Contents of City of Beaumont Planning Department Project File PP2021-0386,
CUP2021-0059 and PLAN2020-0547

**PLOT PLAN FOR
BEAUMONT STARBUCKS
49 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003**

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
THAT PORTION OF THE EAST HALF AND THE WEST HALF OF BLOCK 129, IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY AMENDED MAP OF THE TOWN OF BEAUMONT, ON FILE IN BOOK 6, PAGES 16 AND 17 OF MAPS, SAN BERNADINO COUNTY RECORDS, SAID WEST HALF OF BLOCK 129 BEING SHOWN ON SAID MAP AS "PARK", AND BEING DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID BLOCK 129, SAID NORTHWEST CORNER BEING A POINT ON THE INTERSECTION OF THE EAST LINE OF BEAUMONT AVENUE AND THE SOUTH LINE OF FOURTH STREET, AS SHOWN ON SAID MAP; THENCE SOUTH 00 DEGREES 13' 35" WEST ALONG THE EAST LINE OF SAID BEAUMONT AVENUE, 80 FEET TO ITS INTERSECTION WITH THE SOUTH LINE OF THAT CERTAIN PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES BY DEED RECORDED OCTOBER 17, 1958 AS INSTRUMENT NO. 1958-74753; THENCE NORTH 57 DEGREES 45' 23" EAST, 65.19 FEET ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA; THENCE CONTINUING ALONG SAID SOUTHERLY LINE, NORTH 80 DEGREES 55' 49" EAST, 86.13 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 0 DEGREES 13' 35" WEST PARALLEL WITH THE EAST LINE OF SAID BEAUMONT AVENUE, 175.91 FEET; THENCE SOUTH 89 DEGREES 46' 25" EAST, 30.00 FEET; THENCE NORTH 00 DEGREES 13' 35" EAST, 40.46 FEET; THENCE NORTH 83 DEGREES 28' 15" EAST, 94.22 FEET TO A POINT HEREAFTER REFERRED TO AS "POINT A"; THENCE NORTH 00 DEGREES 13' 35" EAST PARALLEL WITH SAID EAST LINE OF BEAUMONT AVENUE, 100.00 FEET; THENCE NORTH 80 DEGREES 55' 49" EAST, 13 FEET; THENCE NORTH 00 DEGREES 00' 11" WEST, 44.00 FEET TO A POINT ON SAID SOUTHERLY LINE OF THAT PARCEL CONVEYED TO THE STATE OF CALIFORNIA, SAID POINT BEING SOUTH 80 DEGREES 55' 49" WEST, 54.41 FEET FROM THE NORTHEAST CORNER OF SAID BLOCK 129; THENCE SOUTH 80 DEGREES 55' 49" WEST, 138 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A NON-RESTRICTIVE EASEMENT FOR INGRESS AND EGRESS, BOTH VEHICULAR AND PEDESTRIAN, OVER THAT PORTION OF BLOCK 129 DESCRIBED AS FOLLOWS:
BEGINNING AT THE AFOREMENTIONED "POINT A"; THENCE SOUTH 00 DEGREES

13' 35" WEST, 10.06 FEET; THENCE SOUTH 83 DEGREES 28' 15" WEST, 84.15 FEET; THENCE SOUTH 00 DEGREES 13' 35" WEST, 70.56 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SOUTHERN PACIFIC RAILROAD RIGHT OF WAY; THENCE ON A CURVE TO THE RIGHT FROM AN INITIAL TANGENT THAT BEARS SOUTH 86 DEGREES 51'00" WEST WITH A RADIUS OF 1809.91 FEET ALONG SAID RAILROAD RIGHT OF WAY, AN ARC DISTANCE OF 180.08 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF BEAUMONT AVENUE, THENCE NORTH 00 DEGREES 13' 35" EAST ALONG SAID EAST LINE OF BEAUMONT AVENUE, 40.62 FEET TO A POINT WHICH IS SOUTH 00 DEGREES 13' 35" WEST, 207 FEET FROM THE NORTHWEST CORNER OF SAID BLOCK 129; THENCE AT RIGHT ANGLES SOUTH 89 DEGREES 46' 25" EAST, 170.00 FEET; THENCE NORTH 00 DEGREES 13' 35" EAST PARALLEL WITH THE EAST LINE OF SAID BEAUMONT AVENUE, 40.46 FEET; THENCE NORTH 83 DEGREES 29' 15" EAST, 94.22 FEET TO THE POINT OF BEGINNING.

Beaumont Coffee Shop C Factor Pre vs Post								
Total Area	Pre Pervious (SF)	Pre Impervious Area (SF)	Post Pervious Area (SF)	Post Impervious Area (SF)	C Pervious	C Impervious	Weighted C Factor Pre	Weighted C Post
29,328	3,009	26,319	7,434	21,894	0.4	0.95	0.894	0.811

The Post 'C' factor is reduced from the Pre condition. This is due to more landscaping being installed, therefore no retention is required

ICANT:
STEE, OF THE OKADA REVOCABLE TRUST
ERING, INC.
ROAD #300
251
RSOENGR COM

ENGINEER:
M ENGINEERING, INC.
THOMAS ROAD #300
SALE, AZ 85251
0.212.4200
0.212.4201
CT: MICHAEL HREHA, P.E.
MHREHA@LARSONENGR.COM

DATA:

SET INDEX: PLOT PLAN SECTIONS & DETAILS

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PLOT PLAN

Project #:

31

**Larson
Engineering, Inc.**

6380 E. Thomas Road, Suite 300
Scottsdale, AZ, 85251
480.212.4200 (f)480.212.4201
www.larsonengr.com

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Contact Arizona 811 at least two full working days before you begin excavation

**PLAT PLAN FOR
BEAUMONT STARBUCKS
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003**

MATERIAL AND COLORS

A PAINTED STUCCO:
FINISH: FINE SAND
MFG: SHERWIN WILLIAMS
COLOR: ANEW GRAY SW 7030

B PAINTED STUCCO:
FINISH: FINE SAND
MFG: SHERWIN WILLIAMS
COLOR: WARM STONE SW 7032

C PAINTED STUCCO:
FINISH: FINE SAND
MFG: SHERWIN WILLIAMS
COLOR: AESTHETIC WHITE SW 7035

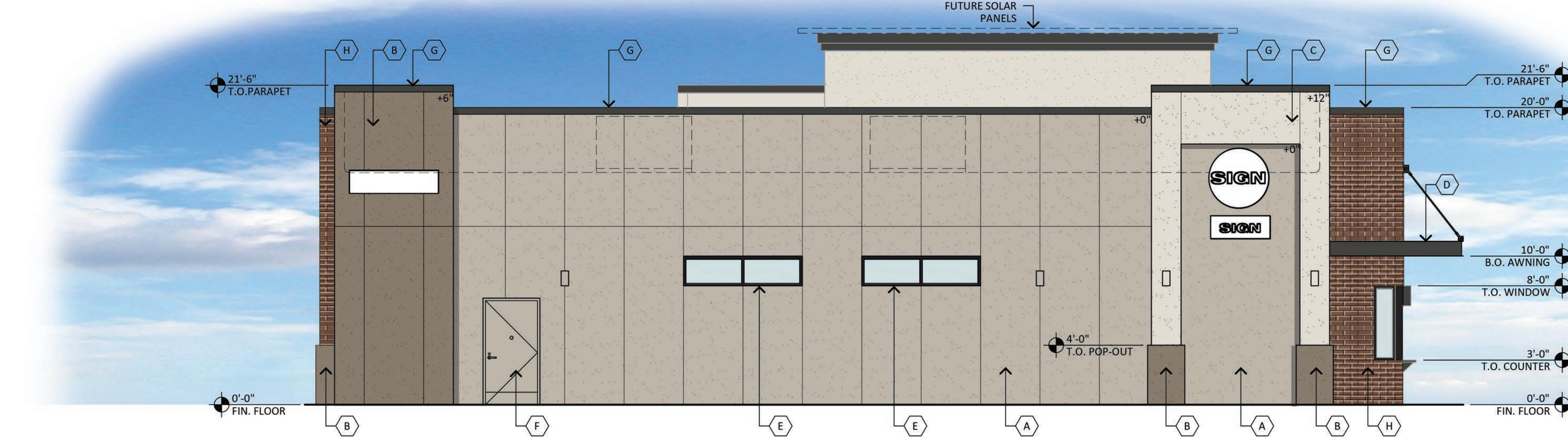
D PAINTED METAL AWNING WITH LOUVERED INFIL:
MFG: SHERWIN WILLIAMS
COLOR: IRON ORE SW 7069

E MULLIONS:
MFG: KAWNEER
COLOR: BLACK

F PAINTED HOLLOW METAL DOORS:
MFG: SHERWIN WILLIAMS
COLOR: ANEW GRAY SW 7030

G PAINTED METAL CAP FLASHING:
MFG: SHERWIN WILLIAMS
COLOR: IRON ORE SW 7069

H BRICK VENEER:
MFG: SUMMIT BRICK
COLOR: 154 CEDAR RIDGE



1 EAST ELEVATION

SCALE: 3/16" = 1'-0"



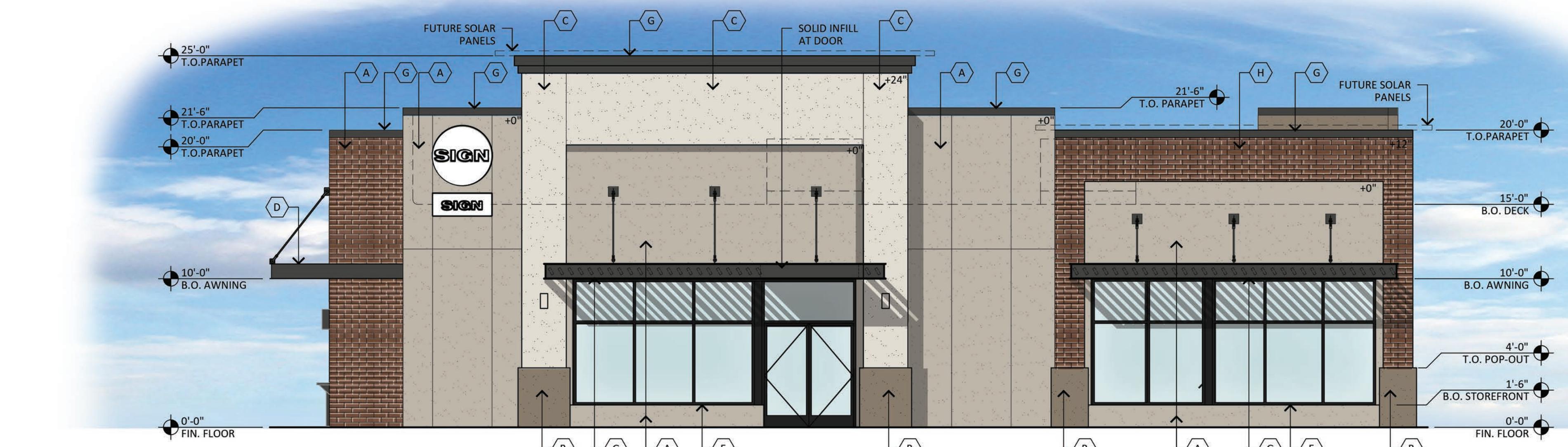
2 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



4 WEST ELEVATION

SCALE: 3/16" = 1'-0"

BEAUMONT STARBUCKS

449 EAST 4TH STREET
BEAUMONT, CA
DATE: 09-27-2021

EL-1

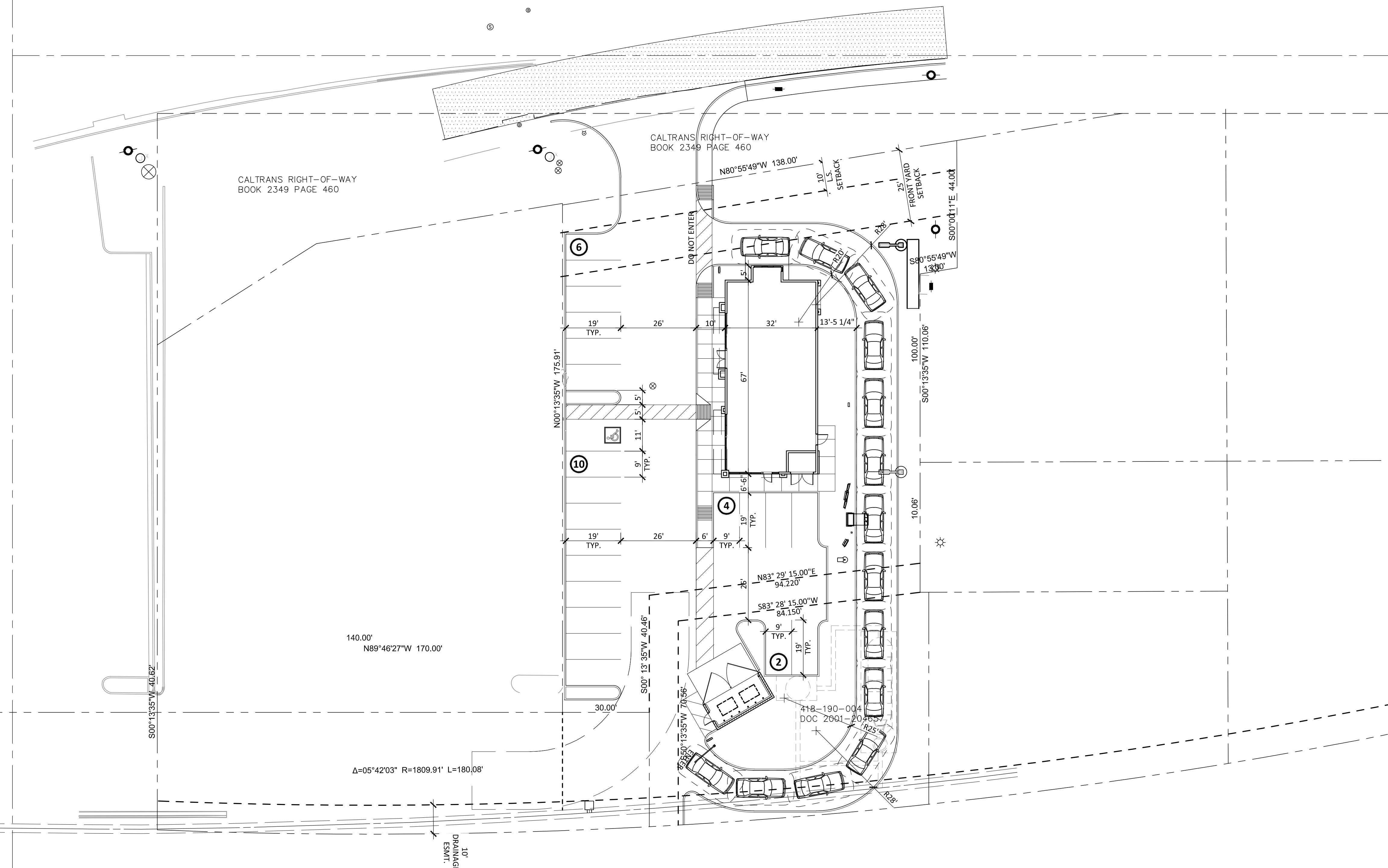
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PROJECT DIRECTORY

OWNER:
ORUM CAPITAL
606 S. OLIVE ST. #1030
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CONTACT: JONATHAN HANASAB
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EMAIL: Jonathan@orumcapital.com

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2233 EAST THOMAS ROAD
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CONTACT: NEIL FEASER
PHONE: (602) 955-3900
E-MAIL: nfeaser@rkaa.com



SITE DATA

APN: 418-190-003, 418-190-004, 418-190-005
ZONING: PAD (COMMUNITY COMMERCIAL)
SITE AREA: 2,200 SQ. FT.
TOTAL BUILDING AREA: 24,000 SQ. FT.
PROPOSED SITE COVERAGE: -

PROJECT DATA

OCCUPANCY CLASS: A2
CONSTRUCTION TYPE: 5B
ALLOWABLE HEIGHT: 50' MAX.
PROPOSED HEIGHT: 1 STORY (18'-0")
ALLOWABLE AREA: 24,000 SQ. FT.
PROPOSED AREA: RESTAURANT: 2,200 SQ. FT.
PARKING: RESTAURANT (DRIVE-THRU): 2,200 S.F. / 100 = 22 STALLS
PARKING REQUIRED: 22 TOTAL STALLS (INCLUDING A.D.A.)
A.D.A. PARKING REQUIRED: 1 STALLS
TOTAL PARKING REQUIRED: 22 TOTAL STALLS (INCLUDING A.D.A.)
PARKING PROVIDED: 22 STANDARD STALLS 1 A.D.A. STALLS
TOTAL PARKING PROVIDED: 22 TOTAL STALLS (INCLUDING A.D.A.)

THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID OF A SURVEY. ALL PROPERTY BOUNDARIES ARE ROUGH APPROXIMATIONS. THIS DRAWING IS TO BE USED FOR CONCEPTUAL PURPOSES ONLY AND IT IS NOT TO BE THE BASIS FOR ANY LEGALLY BINDING DOCUMENTATION.



**PRELIMINARY GRADING & DRAINAGE PLAN FOR
BEAUMONT STARBUCKS**
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003

LEGAL DESCRIPTION:

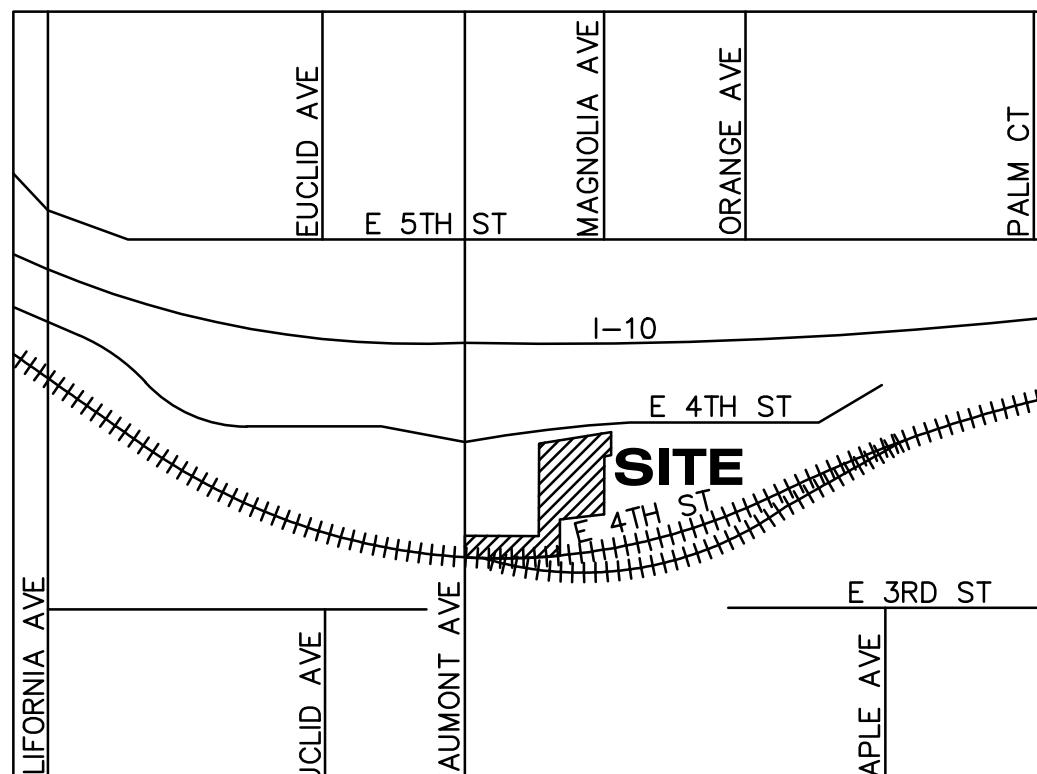
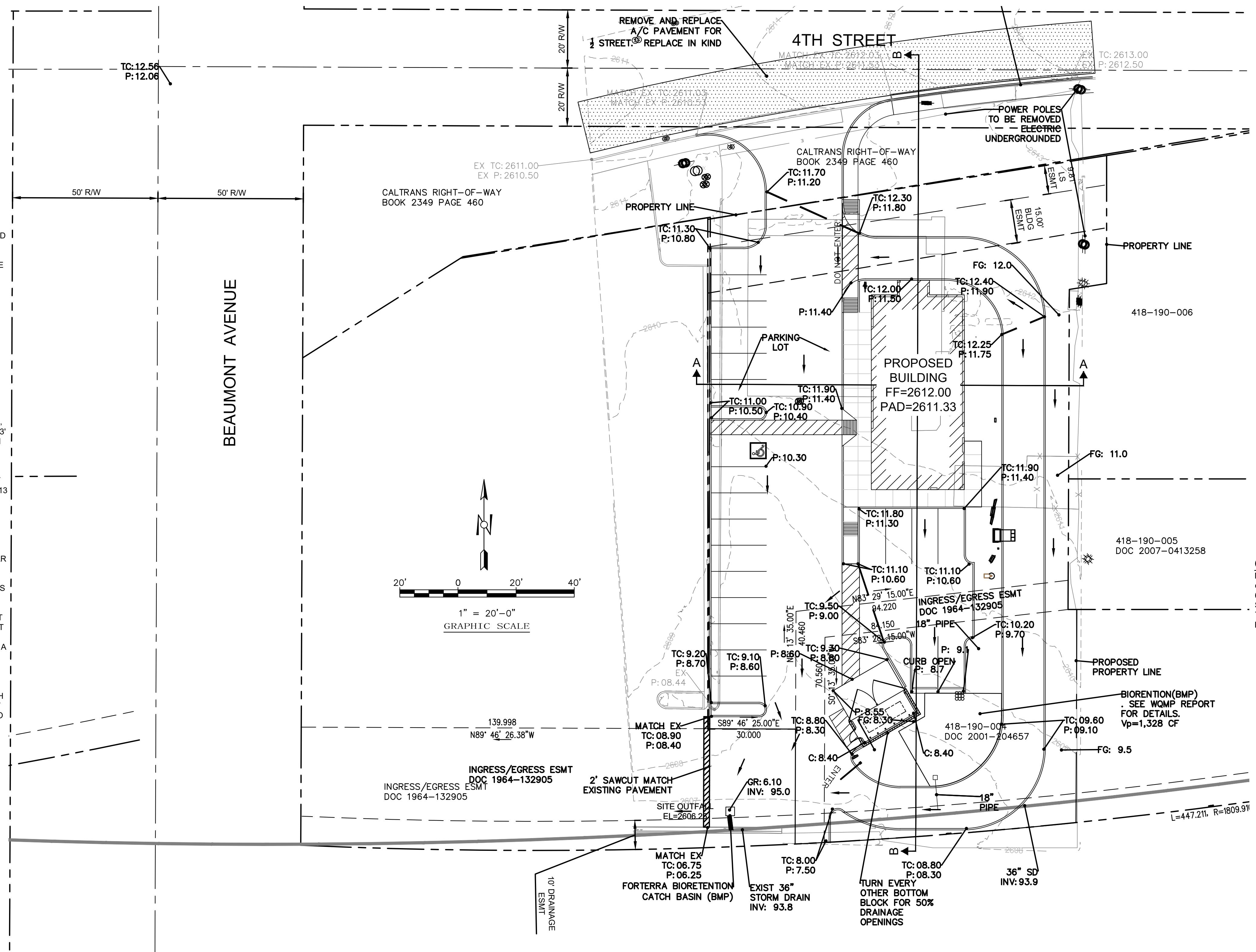
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COMMENCING AT THE NORTHWEST CORNER OF SAID BLOCK 129, SAID NORTHWEST CORNER BEING A POINT ON THE INTERSECTION OF THE EAST LINE OF BEAUMONT AVENUE AND THE SOUTH LINE OF FOURTH STREET, AS SHOWN ON SAID MAP; THENCE SOUTH 00 DEGREES 13' 35" WEST ALONG THE EAST LINE OF SAID BEAUMONT AVENUE, 80 FEET TO ITS INTERSECTION WITH THE SOUTH LINE OF THAT CERTAIN PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES BY DEED RECORDED OCTOBER 17, 1958 AS INSTRUMENT NO. 1958-74753; THENCE NORTH 57 DEGREES 45' 23" EAST, 65.19 FEET ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA; THENCE CONTINUING ALONG SAID SOUTHERLY LINE, NORTH 80 DEGREES 55' 49" EAST, 86.13 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 0 DEGREES 13' 35" WEST PARALLEL WITH THE EAST LINE OF SAID BEAUMONT AVENUE, 175.91 FEET; THENCE SOUTH 89 DEGREES 46' 25" EAST, 30.00 FEET; THENCE NORTH 00 DEGREES 13' 35" EAST, 40.46 FEET; THENCE NORTH 83 DEGREES 28' 15" EAST, 94.22 FEET TO A POINT HEREAFTER REFERRED TO AS "POINT A"; THENCE NORTH 00 DEGREES 13' 35" EAST PARALLEL WITH SAID EAST LINE OF BEAUMONT AVENUE, 100.00 FEET; THENCE NORTH 80 DEGREES 55' 49" EAST, 13 FEET; THENCE NORTH 00 DEGREES 00' 11" WEST, 44.00 FEET TO A POINT ON SAID SOUTHERLY LINE OF THAT PARCEL CONVEYED TO THE STATE OF CALIFORNIA, SAID POINT BEING SOUTH 80 DEGREES 55' 49" WEST, 54.41 FEET FROM THE NORTHEAST CORNER OF SAID BLOCK 129; THENCE SOUTH 80 DEGREES 55' 49" WEST, 138 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A NON-RESTRICTIVE EASEMENT FOR INGRESS AND EGRESS, BOTH VEHICULAR AND PEDESTRIAN, OVER THAT PORTION OF BLOCK 129 DESCRIBED AS FOLLOWS:
BEGINNING AT THE AFOREMENTIONED "POINT A"; THENCE SOUTH 00 DEGREES 13' 35" WEST, 10.06 FEET; THENCE SOUTH 83 DEGREES 28' 15" WEST, 84.15 FEET; THENCE SOUTH 00 DEGREES 13' 35" WEST, 70.56 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SOUTHERN PACIFIC RAILROAD RIGHT OF WAY; THENCE ON A CURVE TO THE RIGHT FROM AN INITIAL TANGENT THAT BEARS SOUTH 86 DEGREES 51'00" WEST WITH A RADIUS OF 1809.91 FEET ALONG SAID RAILROAD RIGHT OF WAY, AN ARC DISTANCE OF 180.08 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF BEAUMONT AVENUE; THENCE NORTH 00 DEGREES 13' 35" EAST ALONG SAID EAST LINE OF BEAUMONT AVENUE, 40.62 FEET TO A POINT WHICH IS SOUTH 00 DEGREES 13' 35" WEST, 207 FEET FROM THE NORTHWEST CORNER OF SAID BLOCK 129; THENCE AT RIGHT ANGLES SOUTH 89 DEGREES 46' 25" EAST, 170.00 FEET; THENCE NORTH 00 DEGREES 13' 35" EAST PARALLEL WITH THE EAST LINE OF SAID BEAUMONT AVENUE, 40.46 FEET; THENCE NORTH 83 DEGREES 29' 15" EAST, 94.22 FEET TO THE POINT OF BEGINNING.

NOTICE OF ALLEGED BILLING OF PAYMENT CYCLE:
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VICINITY MAP:
N.T.S.

OWNER/APPLICANT:
NAMIYE OKADA TRUSTEE, OF THE OKADA REVOCABLE TRUST
c/o LARSON ENGINEERING, INC.
6380 EAST THOMAS ROAD #300
SCOTTSDALE, AZ 85251
TEL: 480.212.4200
EMAIL: MHREHA@LARSONENGR.COM

CIVIL ENGINEER:
LARSON ENGINEERING, INC.
6380 E. THOMAS ROAD #300
SCOTTSDALE, AZ 85251
TEL: 480.212.4200
FAX: 480.212.4201
CONTACT: MICHAEL HREHA, P.E.
EMAIL: MHREHA@LARSONENGR.COM

SITE DATA:
APN: 418-190-003
AREA: 27,857 SF / 0.64 ACRES

SHEET INDEX:
C1 PRELIMINARY GRADING & DRAINAGE PLAN
C2 SECTIONS & DETAILS

Beaumont Coffee Shop C Factor Pre vs Post								
Total Area	Pre Pervious (SF)	Pre Impervious Area (SF)	Post Pervious Area (SF)	Post Impervious Area (SF)	C Pervious	C Impervious	Weighted C Factor Pre	Weighted C Post
29,328	3,009	26,319	7,434	21,894	0.4	0.95	0.894	0.811

The Post 'C' factor is reduced from the Pre condition. This is due to more landscaping being installed, therefore no retention is required.

**GRADING & DRAINAGE PLAN FOR
BEAUMONT STARBUCKS**
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003

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design by:
drawn by:
checked by:
PRELIMINARY
GRADING &
DRAINAGE
project #:

C1

PROFESSIONAL ENGINEER
LARSON ENGINEERING, INC.
C87089
10-18-2021
CIVIL

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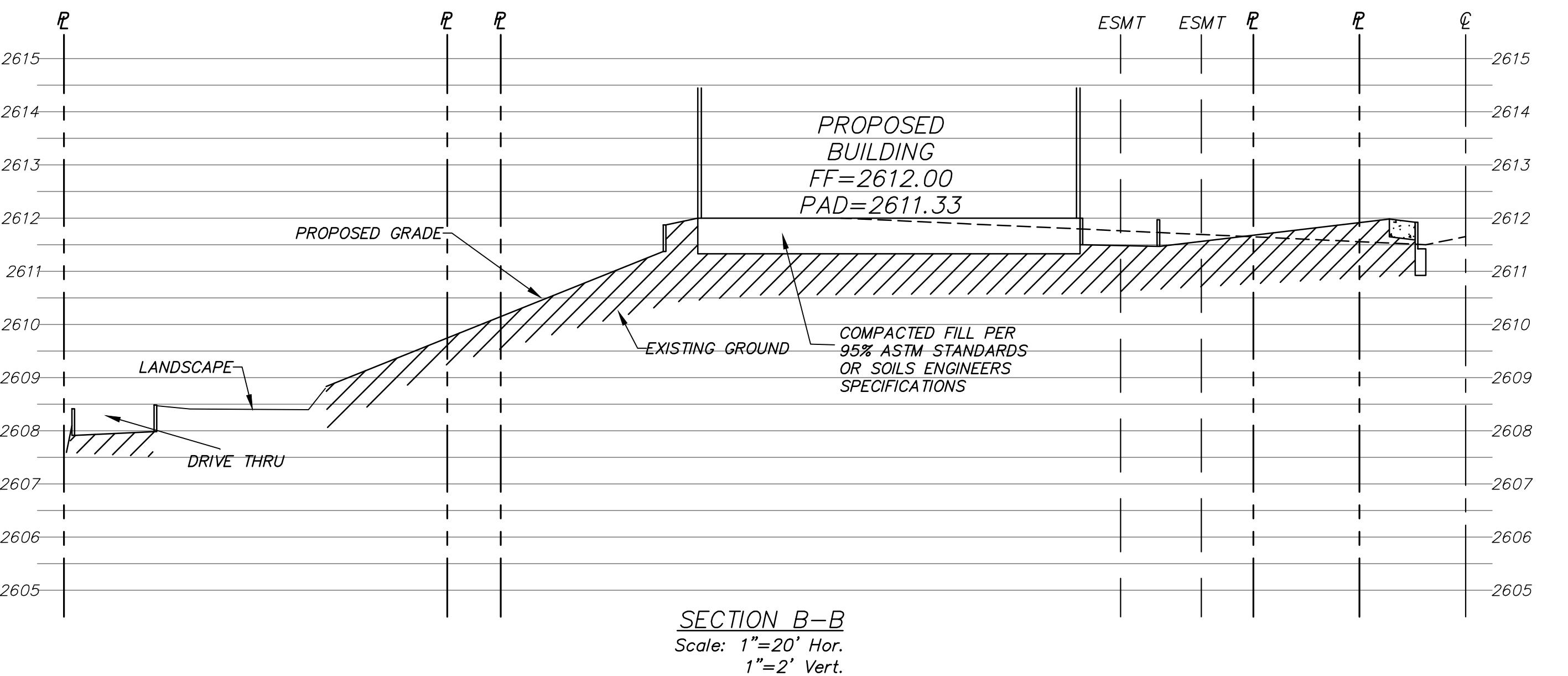
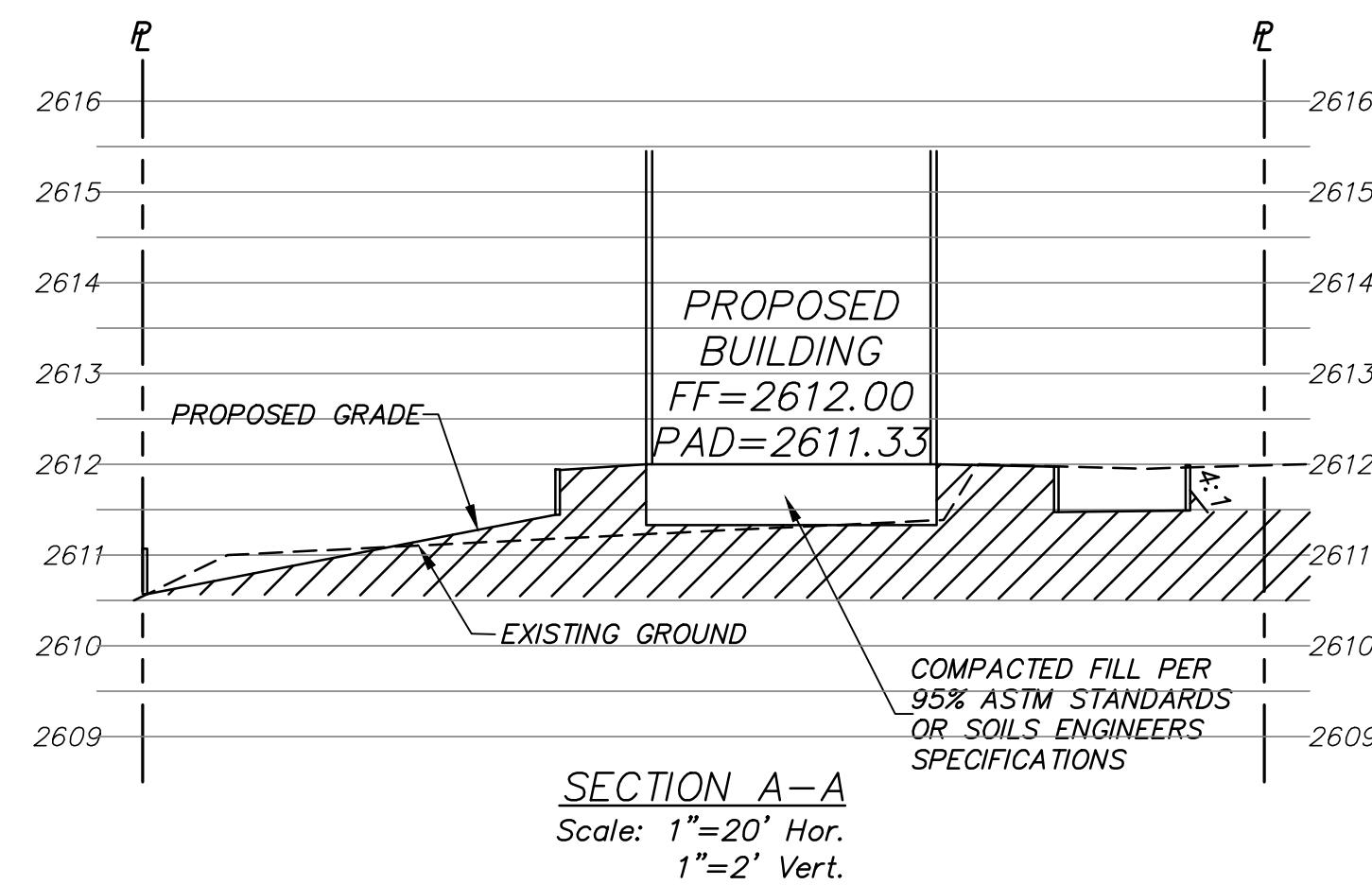
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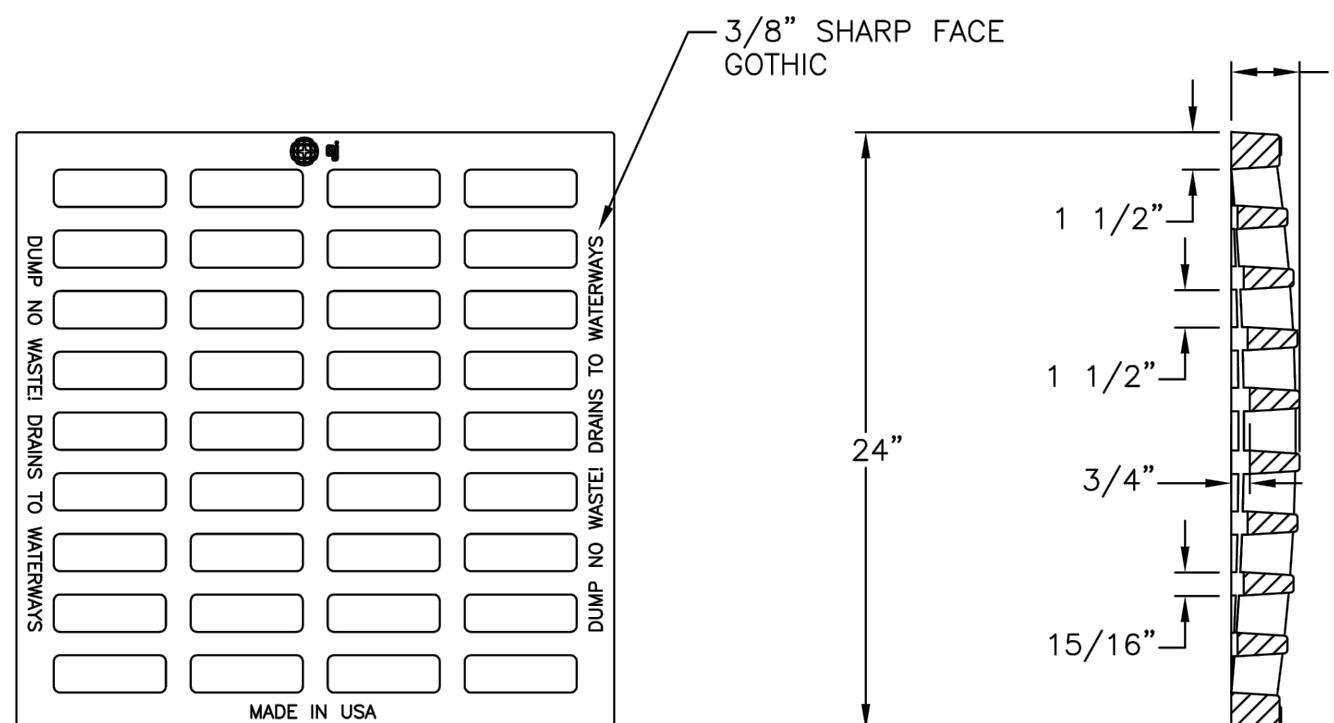
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PRELIMINARY GRADING & DRAINAGE PLAN FOR BEAUMONT STARBUCKS

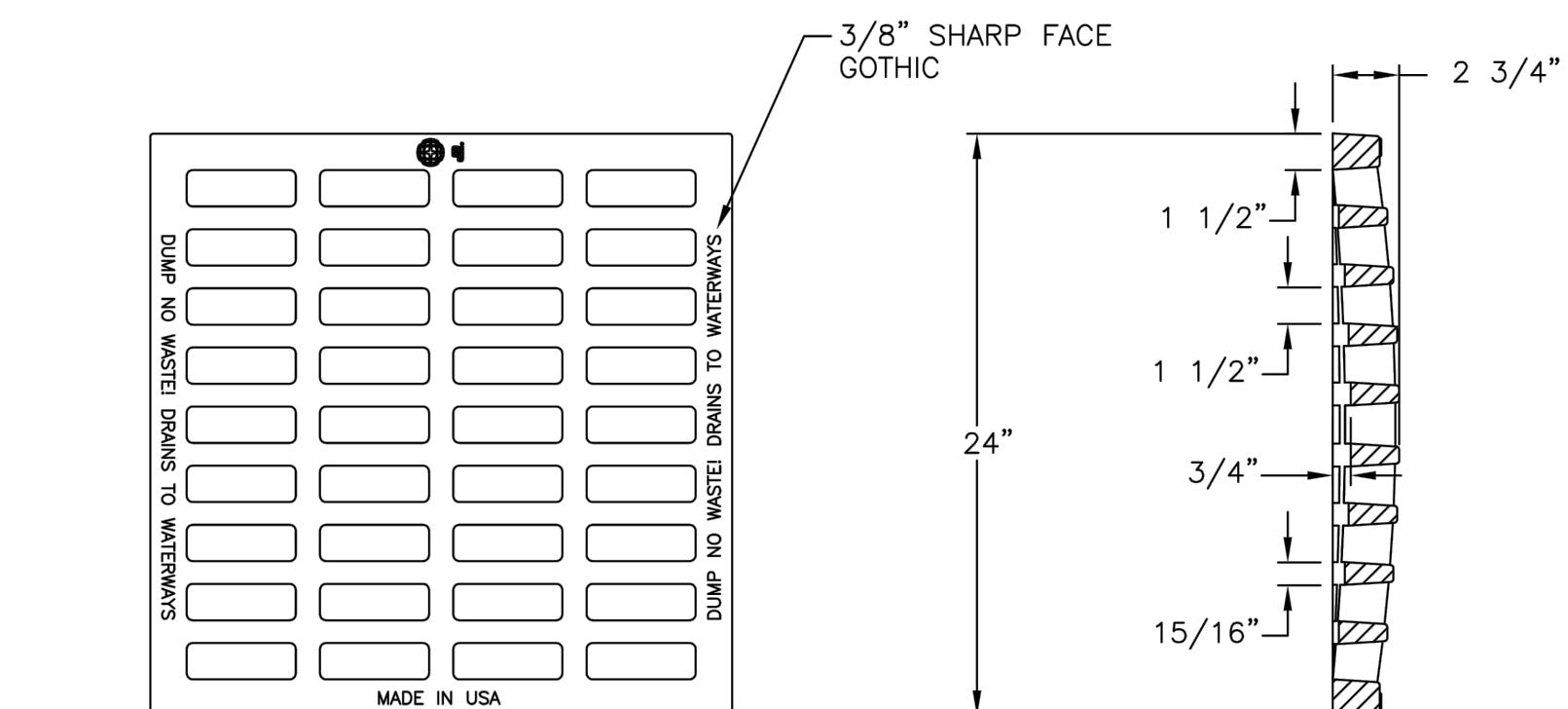
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003



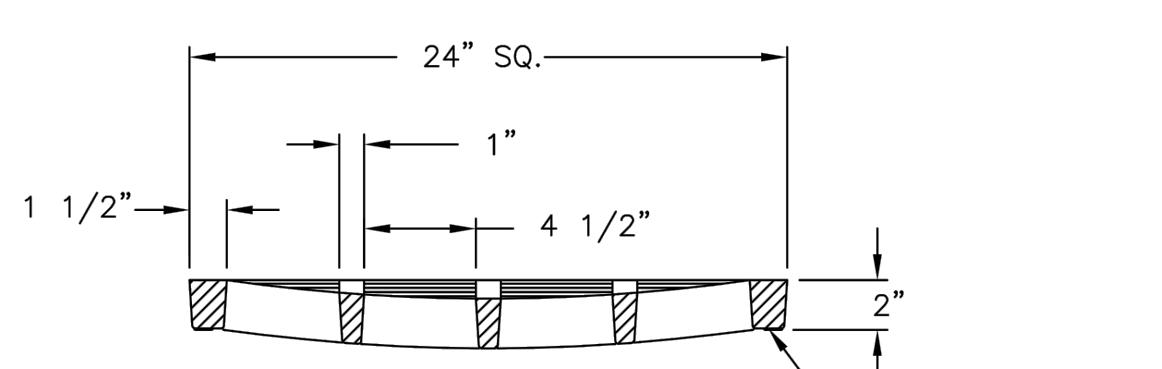
V5324 Grate



PLAN VIEW



GRATE SECTION



GRATE SECTION



Product Number
45324030
Design Features
-Materials
-Gray Iron (CL35B)
-Design Load
-Heavy Duty
-Open Area
-243 Sq. Inches
-Coating
-Undipped
- Designates Machined Surface

Certification
- ASTM A48
- Country of Origin: USA

Drawing Revision
02/10/2005 Designer: JJ
09/07/2016 Revised By: DWD

Disclaimer
Weights (kg, kg) dimensions (Inches/mm) and drawings provided for your guidance. We reserve the right to modify specifications without prior notice.
CONFIDENTIAL: This drawing is the property of EJ GROUP, Inc., and embodies confidential information, representations and other secret information, and/or know how that is the property of EJ GROUP, Inc. Copyright © 2012 EJ GROUP, Inc. All rights reserved.

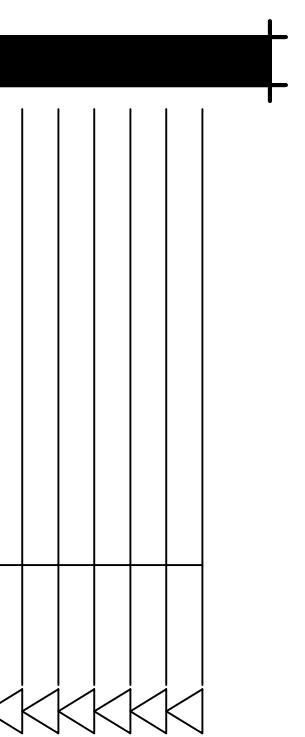
Contact
800 626 4653
ejco.com

GRADING & DRAINAGE PLAN FOR
BEAUMONT STARBUCKS
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003

design by:
drawn by:
checked by:

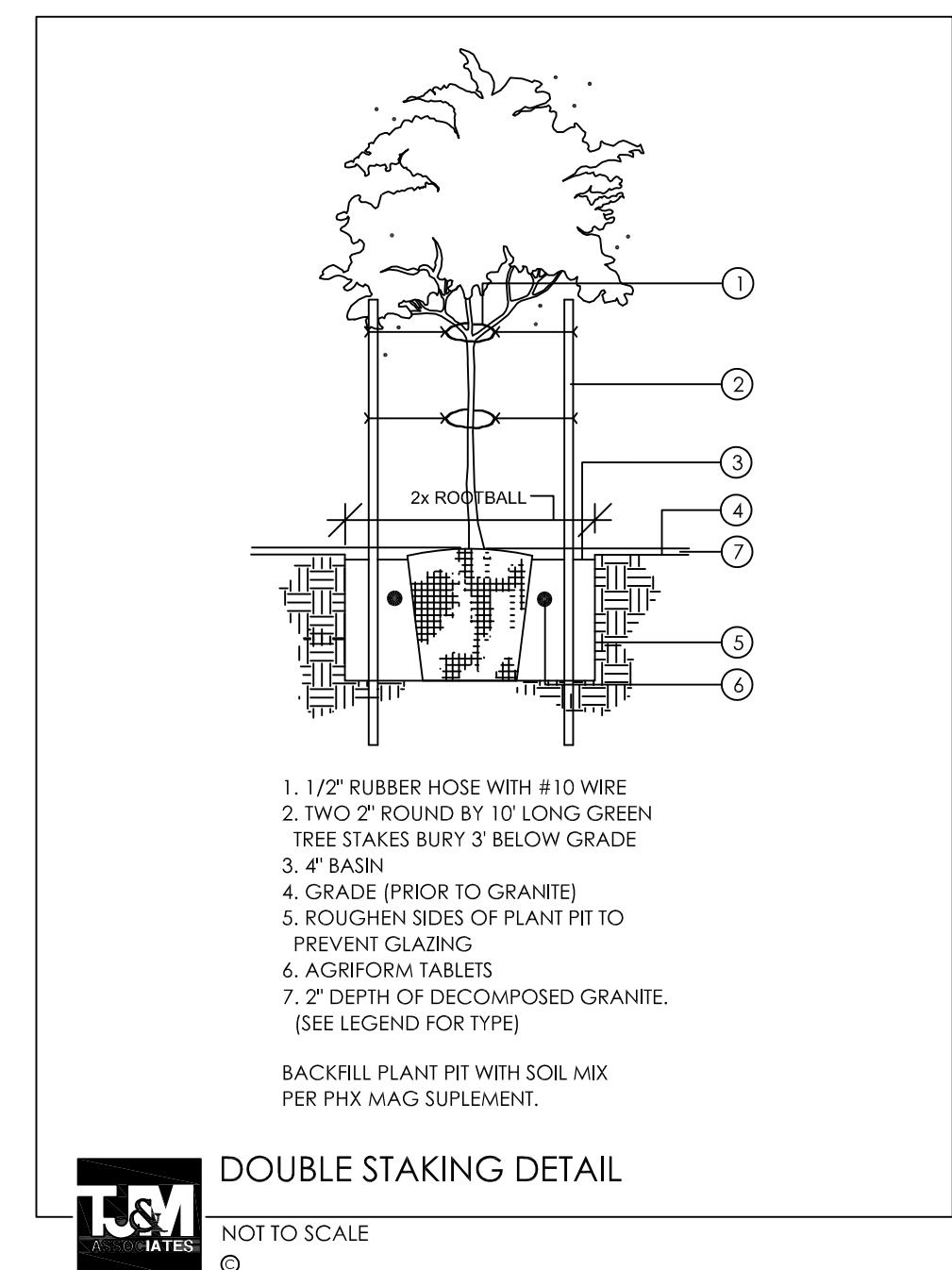
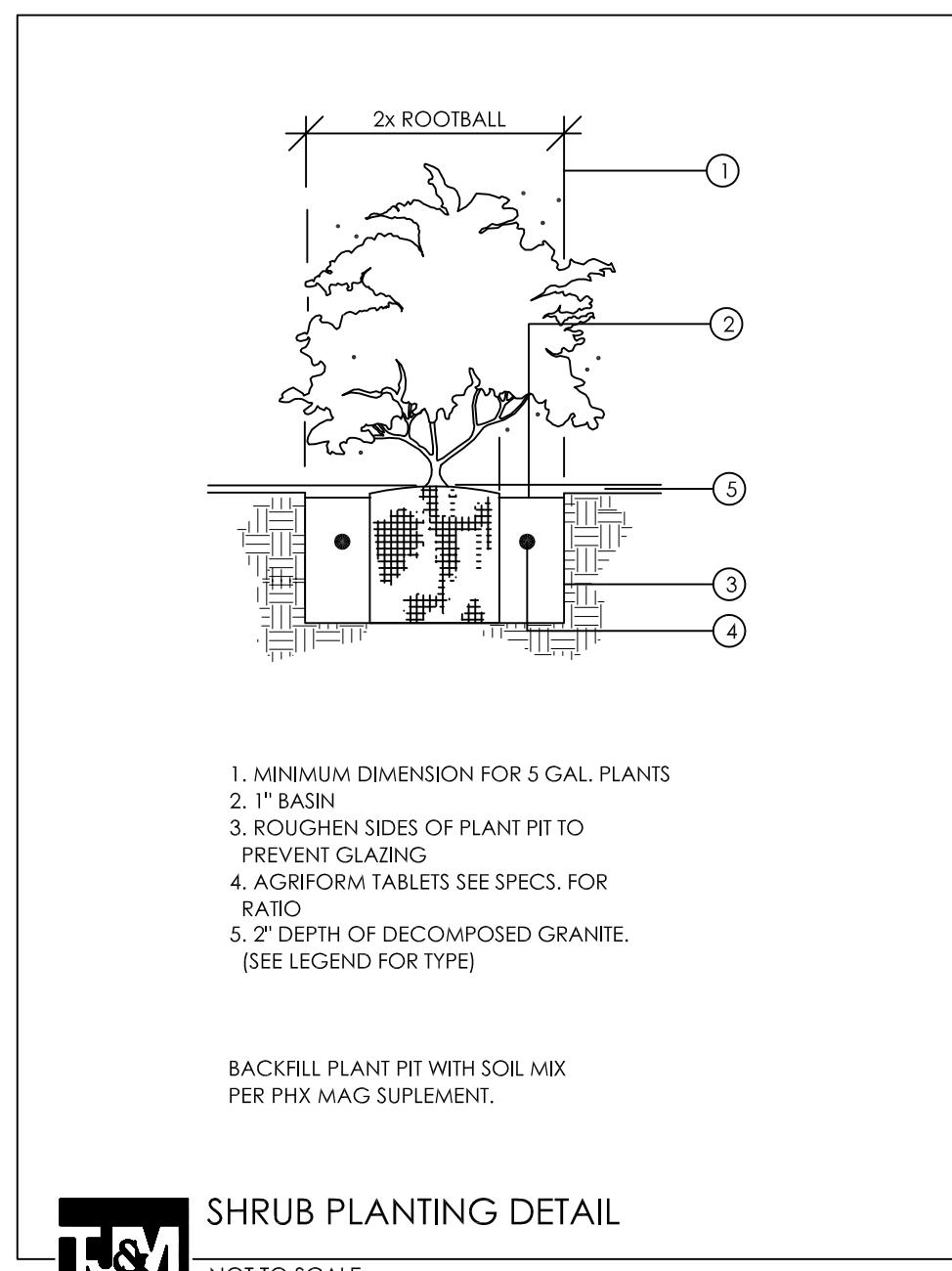
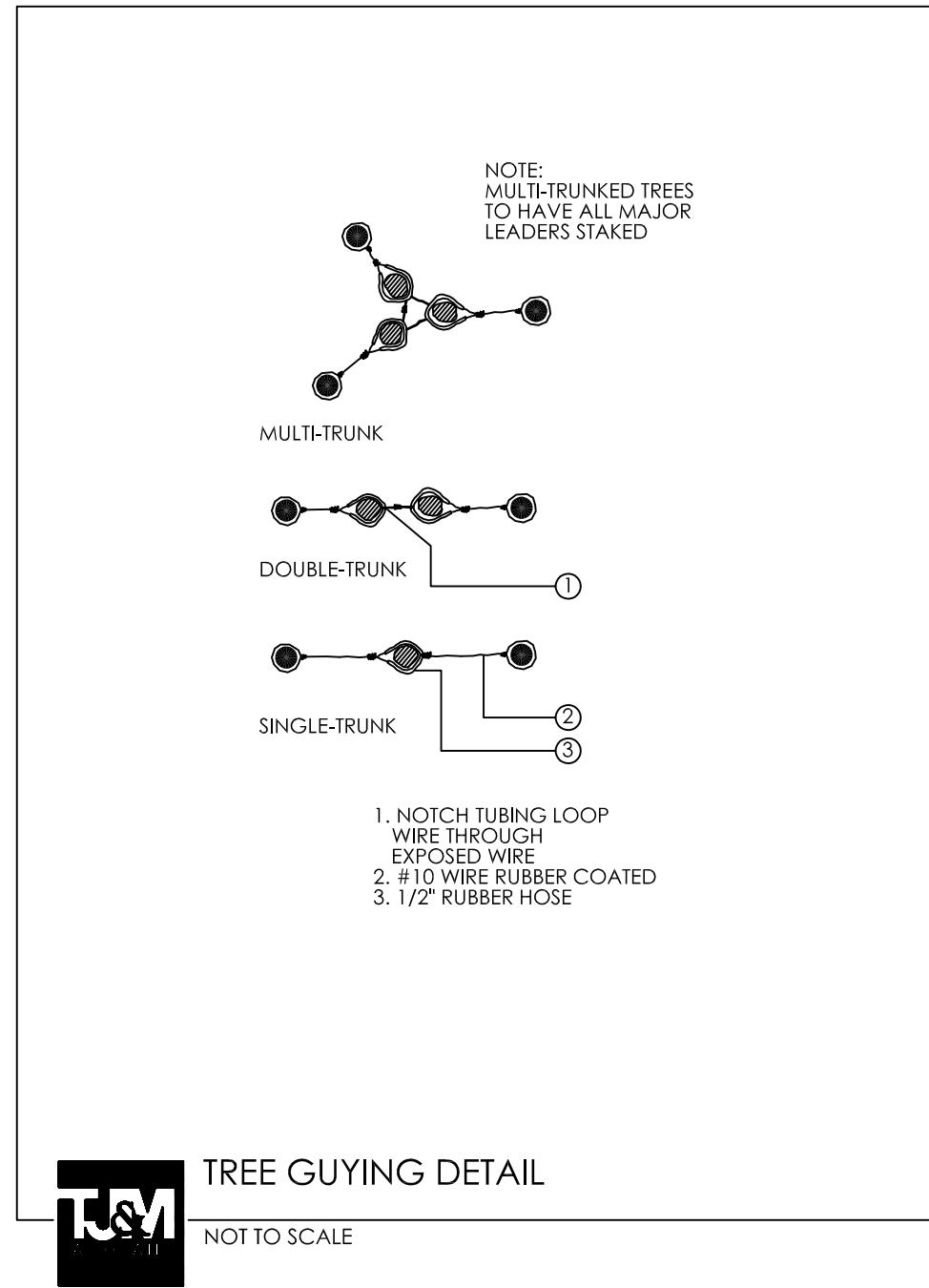
SECTIONS
& DETAILS

project #: **C2**



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Item 3.

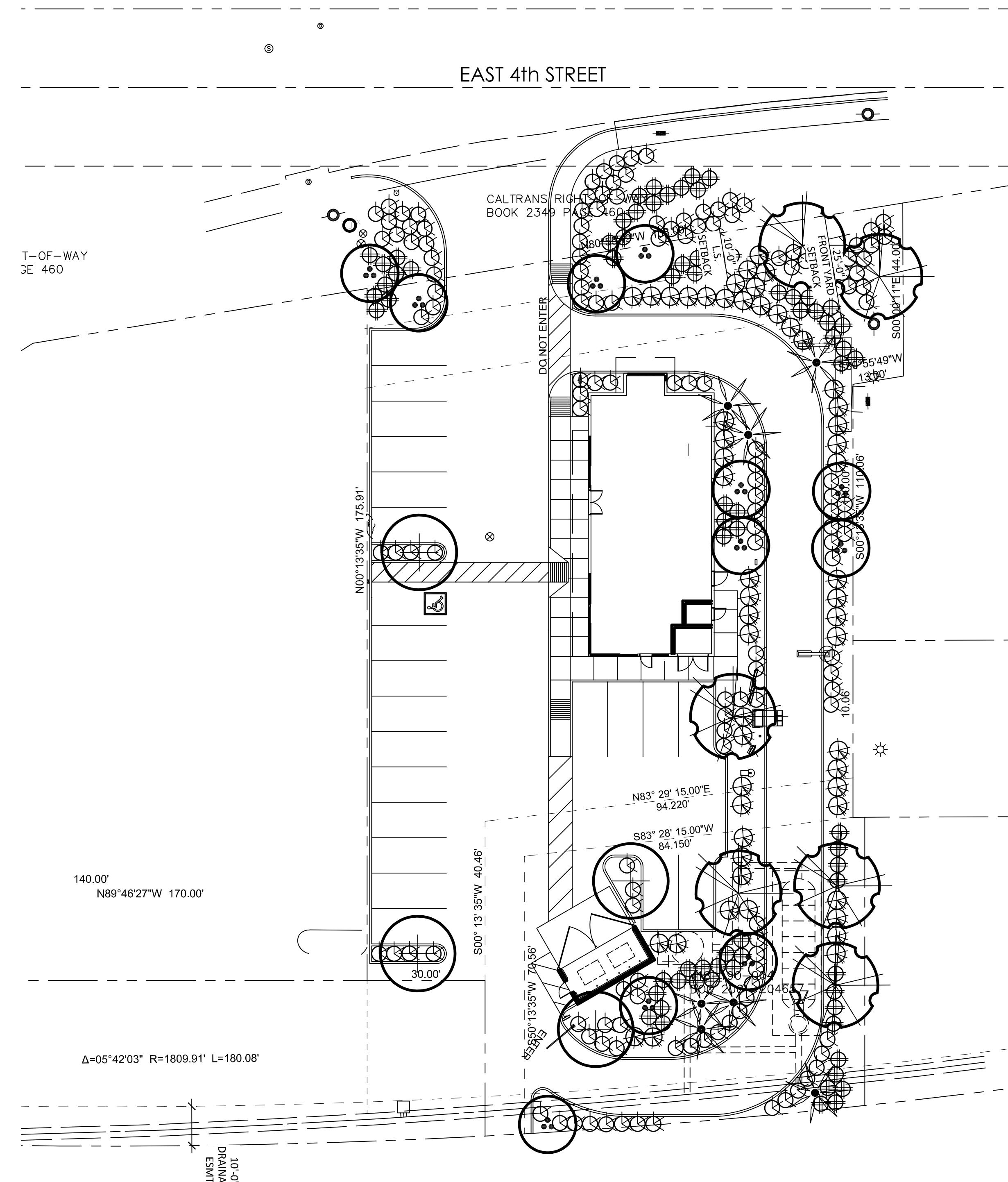
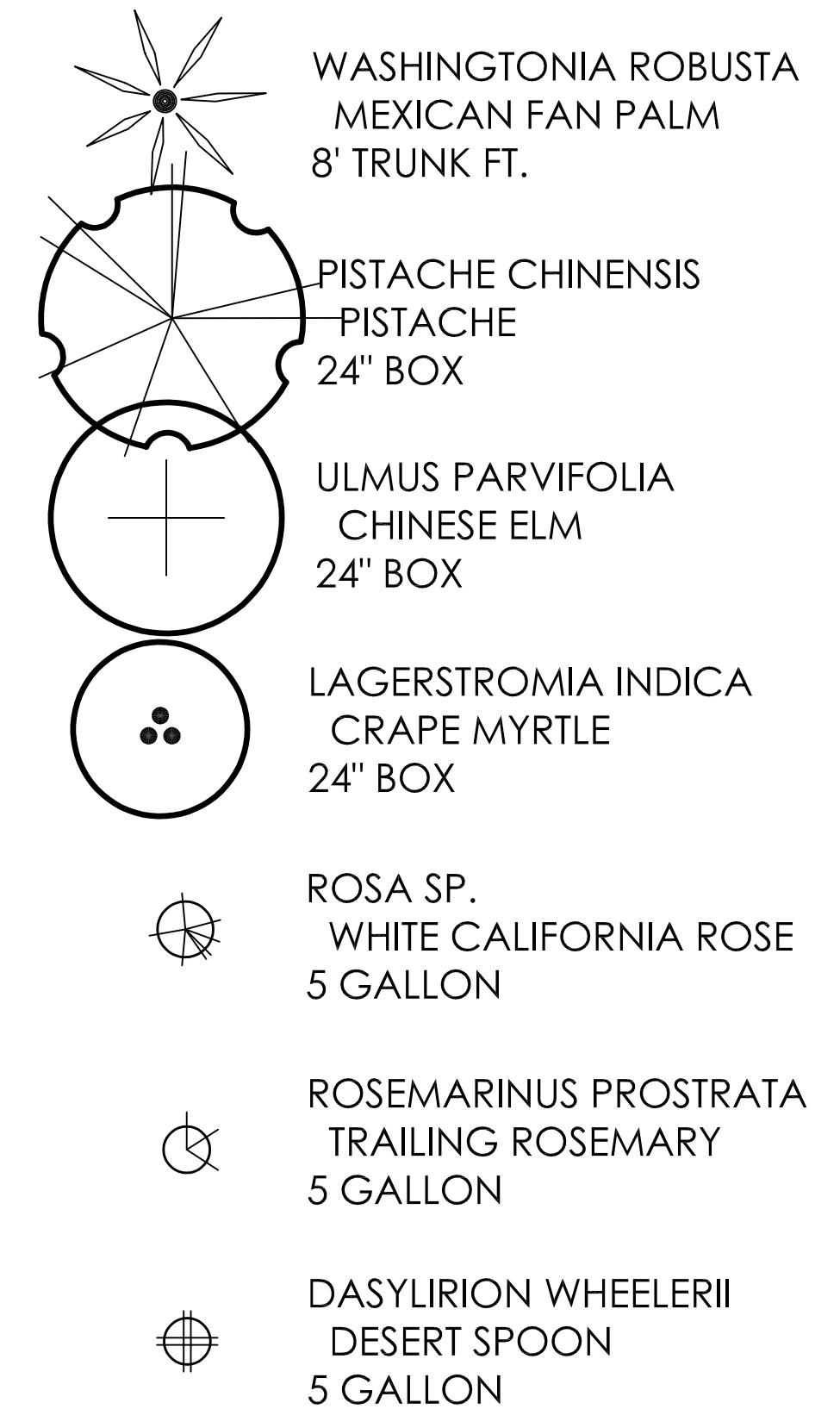
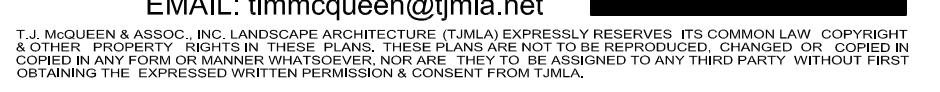
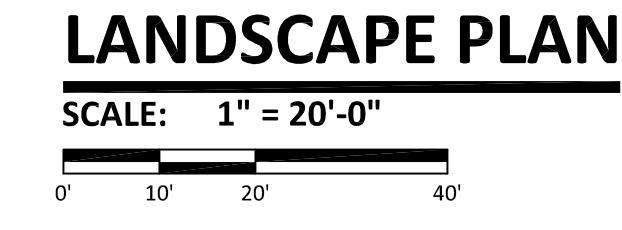
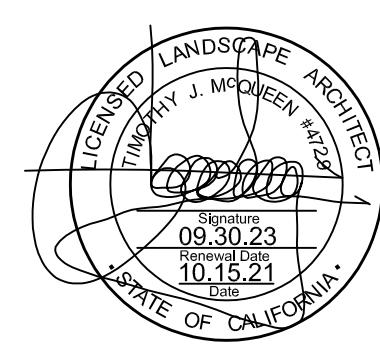


BEAUMONT STARBUCKS

449 E. 4TH STREET
BEAUMONT, CA
DATE: 10-15-2021

LA
ALL
ED.

RKAA# 21189.00





**CITY OF BEAUMONT
PLANNING DEPARTMENT
DRAFT CONDITIONS OF APPROVAL**

PLANNING COMISSION DATE: November 9, 2021

PROJECT NAME: Starbucks

PROJECT NOS.: PP2021-0386 & CUP2021-0059

DESCRIPTION: A request to demolish the former Denny's restaurant and construct a 2,200 square foot coffee shop with a drive-thru on 0.64 acres located on 4th Street, east of Beaumont Avenue in the Community Commercial zone.

APPLICANT: Orum Capital

LOCATION: 449 E. 4th Street

APN: 418-190-003 and portions of 418-190-004 and 418-190-005

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

STANDARD CONDITIONS

1. The permit for the above referenced Plot Plan and Conditional Use Permits consists of all Conditions of Approval herein. All Conditions of Approval for PP2021-0386 & CUP2021-0059 and other related approvals are still in effect.
2. The use hereby permitted is for the establishment of a quick service restaurant with a drive thru located at 449 E. 4th Street.
3. The Community Development Director may approve minor modifications to the site plan that are in substantial conformance to the approved project and that do not increase impacts. All copies of the revised plans shall be dated and signed by the Director and made a part of the record.
4. The permittee shall defend, indemnify, and hold harmless the City of Beaumont, the Beaumont Redevelopment Agency, its agents, officers, consultants, and employees from any claims, action, or proceeding against the City of Beaumont or its agents, officers, consultants, or employees to attack, set aside, void, or annul, an approval of the City of Beaumont, its advisory agencies, appeal boards, or legislative body concerning Plot Plan PP2021-0386 and Conditional Use Permit CUP2021-0059. The City of Beaumont will promptly notify the permittee of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense. If the City fails to promptly notify the permittee of any such claim, action or proceeding or fails to cooperate fully in the defense, the permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Beaumont.

5. This approval is subject to the City of Beaumont Municipal Code Section 17.02.100 Conditional Use Permits and is subject to timing specified in Sections (J) Conditional Use Permit Time Limits, (K) Conditional Use Permit Lapse in Time, (L) Conditional Use Permit Renewal and (M) Lapsing in Conditional Use Permit.
6. This approval is subject to the City of Beaumont Municipal Code Section 17.02.170 Plot Plans and is subject to timing specified in Sections (I) Plot Plan Time Limits and (J) Plot Plan Lapse in Time.
7. Administrative Plot Plan and business license application review and approval are required prior to occupancy of the building or sales of any items.
8. Occupancy inspections will be required prior to the start of operations by the Building & Safety, Planning, Police, and Fire Departments. All inspections shall be performed and approved before a Certificate of Occupancy will be issued by the Building and Safety Department.
9. If any of the conditions of approval are violated, or if the use otherwise become a public nuisance as set forth in the Beaumont Municipal Code, the conditional use permit may be revoked as prescribed in the Municipal Code.
10. For Sales Tax Purposes, this location shall be the "Point-of-Sale" for all transactions conducted.
11. The Community Development Director shall monitor the subject use to ensure that the scale of the use does not exceed the limitations of the existing site improvements. In the event the Community Development Director determines that the scale of the use has exceeded site limitations, a hearing shall be scheduled before the Planning Commission to review the permit and consider modification or revocation thereof.
12. After 12 months of operation, the subject matter may, at the discretion of the Community Development Director, be scheduled for review by the Planning Commission. The Commission shall retain the authority to amend these conditions of approval at such time, or to modify the use or revoke the permit if substantial problems result from the operation.
13. The applicant shall be responsible for securing clearance, permits and approvals from all relevant agencies, including the Building Department, Fire Department, Health Department, and any other necessary departments or agencies.

PP2021-0386 & CUP2021-0059
Draft Conditions of Approval
Page 3

14. This permit shall be for the benefit of the applicant in whose name the permit was issued, for the specific approved location. The permit shall not be transferrable to another individual or location.
15. An anti-graffiti coating shall be provided on all block walls, and written verification from the developer shall be provided to the City of Beaumont Planning Department.
16. The project shall comply the outdoor lighting (night sky) requirements of Beaumont Municipal Code Chapter 8.50.
17. Outdoor lighting systems in the Commercial/Industrial zone shall be turned off or reduced in lighting by at least 50 percent beginning at 10:00 pm. or close of business, whichever is later, until dawn or the start of business, whichever is sooner. When possible, the lighting system shall be turned off rather than reduced in lighting level. Lighting shall be equipped with controls for photocell on and time off.
18. Signage is not approved as part of this project. Any new signage on the site is subject to a sign permit application from the City of Beaumont and shall be developed in conformance with the zoning ordinance of the Beaumont Municipal Code, Chapter 17.07.
19. The hours of operation for the quick service restaurant with a drive shall be a from 4:30am to 10pm, 7 days a week.
20. Outdoor merchandise displays are not permitted as part of this project.
21. No outdoor activities are permitted within the parking area without an approved Temporary Use Permit.
22. All electrical and mechanical equipment, including but not limited to, air-conditioning units, electrical boxes, transformers, backflow preventers, and roof-mounted equipment shall be visually screened from public view.
23. No vehicles may be parked on sidewalks, parkways, driveways, or alleys.
24. Prior to the issuance of any building or grading permits, the applicant shall merge the subject parcels.
25. Prior to the issuance of a building permit, the applicant shall provide documentation that a reciprocal parking and access easement has been recorded with the property owner to the west (Del Taco).

PP2021-0386 & CUP2019-0055
Draft Conditions of Approval
Page 4

26. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash, disease, vermin, and debris, during the term of this Project.
27. Landscape and irrigation plans shall be prepared by a Licensed Landscape Architect and submitted in conjunction with Building Plan check and this project shall be subject to all the requirements listed in the Water Efficiency Landscaping Ordinance.
28. Prior to the issuance of a Certificate of Occupancy or finalization of the Building Permit, all landscaping shall be installed to the satisfaction of the Planning Department.
29. Prior to the issuance of a Certificate of Occupancy or finalization of the Building Permit, landscaped areas shall have an automatic irrigation system, with automatic timers, installed and operational.

BUILDING DEPARTMENT CONDITIONS

30. It shall be unlawful for any person to engage in or permit the generation of noise related to landscape maintenance, construction including erection, excavation, demolition, alteration or repair of any structure or improvement, at such sound levels, as measured at the property line of the nearest adjacent occupied property, as to be in excess of the sound levels permitted under Chapter 9 of the Municipal Code, at other times than between the hours of 7:00 a.m. and 6:00 p.m. The person engaged in such activity is hereby permitted to exceed sound levels otherwise set forth in this Chapter for the duration of the activity during the above described hours for purposes of construction. However, nothing contained herein shall permit any person to cause sound levels to at any time exceed 55 dB(A) for intervals of more than 15 minutes per hour as measured in the interior of the nearest occupied residence or school.

FIRE DEPARTMENT CONDITIONS

With respect to the conditions of approval for the referenced project, the Fire Department requires the following fire protection measures be provided in accordance with Riverside County Ordinances and/or recognized fire protection standards:

31. Fire Hydrants and Fire Flow: Prior to the issuance of building permits, provide a current fire flow report from the local water purveyor indicating the available fire flow from the nearest fire hydrant. The required fire flow for this project is 1,500 gpm at 20 psi residual pressure for a 2-hour duration from a fire hydrant within 400 feet of the furthest point on the structure. An approved water supply for fire protection during construction

PP2021-0386 & CUP2021-0059
Draft Conditions of Approval
Page 5

shall be made available prior to the arrival of combustible materials on site. Reference 2019 California Fire Code (CFC) 507.5.1, 3312, Appendices B and C.

32. Fire Department Access: Prior to building permit issuance, provide a site plan showing the fire lanes. Access roads shall be provided to within 150 feet to all portions of the exterior building walls and shall have an unobstructed width of not less than 24 feet. The construction of the access roads shall be all weather and capable of sustaining 60,000 lbs. over two axels for commercial developments. Approved vehicle access, either permanent or temporary, shall be provided during construction Ref. CFC 503.1.1, 3310.1 and 503.2.1
33. Construction Permits Fire Department Review: Submittal of construction plans to the Office of the Fire Marshal for development, construction, installation and operational use permitting will be required. Final fire and life safety conditions will be addressed when the Office of the Fire Marshal reviews these plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code, and related codes, which are in effect at the time of building plan submittal.
34. Knox Box: Buildings shall be provided with a Knox Box. The Knox Box shall be installed in an accessible location approved by the Office of the Fire Marshal. Ref. CFC 506.1
35. Addressing: All commercial buildings shall display street numbers in a prominent location on the address side and additional locations as required. Ref. CFC 505.1 and County of Riverside Office of the Fire Marshal Standard #07-01

POLICE DEPARTMENT

36. All exterior lighting on the site shall remain functional and be kept on during all hours of darkness. Exterior lighting shall be sufficient to illuminate the storefront during all hours of darkness. Any proposed outside lighting shall be in compliance with the City's Lighting Ordinance, Chapter 8.50, of the City of Beaumont Municipal Code.
37. The address of the business shall be clearly visible from the front of the building and shall be illuminated during hours of darkness.
38. Remove litter daily from the premises, adjacent sidewalks and parking lots under site's control and sweep/clean these areas weekly.
39. Remove graffiti from premises and parking lot.

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Page 6

40. Have no more than 33% of the windows covered with advertising or signs.

41. The applicant shall comply with all applicable local, county, state and federal regulations, including the City's Municipal Code and the California Business and Professions Code (B&P).

PUBLIC WORKS

GENERAL

42. The following is a non-inclusive list of items that may be required by the Public Works Department:

A. Plans:

- i. Street Improvement Plan
- ii. Landscape Plan offsite
- iii. Precise Grading Plan w/ onsite storm drain
- iv. Erosion Control Plan
- v. Retaining wall Plan (for line and grade only)
- vi. Sewer Improvement Plan
- vii. Traffic Control Plan

B. Reports & Studies:

- i. Geotechnical Report
- ii. Final Water Quality Management Plan (F-WQMP)
- iii. Offsite Improvement Engineer's Cost Estimate (ECE)
- iv. Grading & Pad Certification
- v. Compaction Report

C. Permits and agreements:

- i. Permission to Grade and Construction agreements (if applicable)
- ii. Non-interference letters (if applicable)
- iii. WQMP Covenant and Agreement
- iv. City Grading Permit
- v. City Encroachment Permit
- vi. Performance Bond

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- vii. Labor & Material Bond
- viii. Maintenance Bond

D. Survey Documents:

- i. Easement Dedications
- ii. Corner Record
- iii. Record of Survey

43. The design of public infrastructure elements shall conform to the requirements of the City General Plan, Water Quality Management Plan, Master Plans, City of Beaumont Standards, Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification, Caltrans Standard Specifications and the Standard Specifications for Public Works Construction, current edition, as required by the City Engineer.
44. The design of private site improvements and grading work outside of road right of way shall conform to the latest edition of California Building Code and the City of Beaumont standards and practices.
45. All required plans and studies shall be prepared by a Registered Professional Engineer, Registered Professional Geologist or Registered Professional Surveyor in the State of California, and submitted to the Public Works Department for review and approval.
46. The Applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project.
47. The Applicant is responsible for resolving any conflicts with existing or proposed easements. All easement(s) of record and proposed easements shall be shown on the final map, grading plan and improvement plans, where applicable.
48. The Applicant shall obtain an Encroachment Permit, as required, for all work within the public right-of-way.

MAPPING & SURVEYING

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49. **PRIOR TO START OF CONSTRUCTION:** Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).
50. **PRIOR TO ISSUANCE OF ANY BUILDING PERMIT:** The applicant shall verify and/or set all property corners, r/w corners, and centerline monuments. Subsequently, the applicant shall cause the surveyor to file the appropriate documents and records to the County of Riverside.
51. **PRIOR TO ISSUANCE OF A GRADING PERMIT:** The applicant shall provide an easement over, across and which provides ingress and egress to all private water quality, stormwater and drainage basins, to be dedicated to the City, for ingress, egress and right to inspect unless otherwise directed by the City Engineer.
52. **PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT:** The Applicant, at its sole expense, shall obtain all right-of-way or easement acquisitions necessary to implement any portion or condition of this project, including public improvements; off-site grading & construction; offsite street requirements; offsite sewer requirements; storm drain improvements; or any other requirement or condition.

STREET IMPROVEMENTS

53. **PRIOR TO ISSUANCE OF ENCROACHMENT PERMIT:** The applicant shall provide securities guaranteeing the payment of the cost for all public improvements. The securities shall include Faithful Performance and labor and materials for 100% of the approved Engineer's Cost Estimate (ECE).
54. **PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO):** The applicant shall underground existing utility poles along the project frontage, and as necessary for transitions, in accordance with the City of Beaumont. Should the utility poles be exempt from undergrounding, as identified in the Municipal Code, the applicant shall relocate the poles sufficient to construct the improvements required as part of the development.
55. **PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO):** The Applicant shall complete all half-width improvements, coincident with the project boundary and as necessary to safety transition to the existing improvements. The improvements shall include:
 - A. 6" Curb and Gutter per RCTD std. 200;

- B. Sidewalks shall be curb-adjacent type per RCTD std. 401, unless otherwise directed by the Planning Department;
- C. Commercial driveway at entrance per RCTD std. 207A;
- D. All sawcuts and joining of existing ac paving shall be per the City's pavement restoration detail.

56. **PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO):** The Applicant shall replace any sidewalk, curb and gutter, drive approach, AC pavement or other improvement damaged during construction as determined necessary by the City Engineer.

57. **PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO):** The Applicant shall install public streetlights along the project frontage of perimeter streets, or as directed by the City Engineer, in accordance with the City of Beaumont Approved Street Lighting Specifications. The Applicant shall coordinate with Public Works before submitting street light plans.

58. **PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO):** The Applicant shall perform a full-section removal and replacement as necessary, along Fourth Street, from edge of gutter to centerline of improvements, coincident with the project frontage.

59. **PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO):** The applicant shall design and install offsite landscaping and supporting irrigation system. All irrigation and landscaping associated with this project will be privately maintained. The landscape within public right-of-way shall occur on a separate plan set from the on-site landscaping.

GRADING AND DRAINAGE IMPROVEMENTS

60. **PRIOR TO ISSUANCE OF A GRADING PERMIT:** The applicant shall design the drainage facilities to capture the 100-year storm event.

61. **PRIOR TO ISSUANCE OF A GRADING PERMIT:** The Applicant shall design the drainage facilities to collect and convey all on-site drainage flows in a manner consistent with the historic drainage pattern and discharge in a manner which will not increase damage, hazard, or liability to adjacent or downstream properties.

62. **PRIOR TO ISSUANCE OF A GRADING PERMIT:** The applicant shall design all storm drains, catch basins, and storm water structures with trash capture devices that conform with the approved trash capture list issued by the State Water Board.

63. **PRIOR TO ISSUANCE OF A GRADING PERMIT:** The applicant shall design temporary drainage facilities and erosion control measures to minimize erosion and silt deposition during the grading operation.

64. **PRIOR TO ISSUANCE OF A GRADING PERMIT:** a final project-specific Water Quality Management Plan (F-WQMP) shall be submitted to Public Works Department. The WQMP shall incorporate, but not limited to, the following: site design BMP's, applicable source control BMP's, treatment control BMP's, long term operation and maintenance requirements, and inspection and maintenance checklist. Maintenance and funding requirements shall be outlined in the WQMP for the maintenance of the development BMP's. The post construction Best Management Practices (BMPs) outlined in the approved final project-specific WQMP shall be incorporated in the improvement plans.

65. **PRIOR TO ISSUANCE OF A GRADING PERMIT:** a WQMP Covenant and Agreement shall be fully executed and recorded.

66. **CONCURRENT WITH GRADING OPERATIONS:** Any grading and/or utility excavations and backfilling, both on and off site, shall be done under the continuous direction of a licensed geotechnical/civil engineer who shall obtain all required permits and submit reports on progress and test results to the City Engineer for review and approval as determined by the City. Upon completion of all soils related work, the geotechnical engineer shall submit a final report to the City Engineer for review and approval, which may require additional tests at the expense of the applicant.

67. **PRIOR TO OBTAINING A BUILDING PERMIT:** The applicant shall pay all applicable development fees as indicated on the fee schedule, current at the time of permit, available from the City, including, but not limited to the following:

- A. Fire Protection Impact
- B. Police Facilities Impact
- C. Public Facility
- D. Streets and Bridges Impact
- E. Traffic Signal Impact
- F. Railroad X'ing Impact
- G. General Plan
- H. Emergency Preparedness
- I. Recycled Water Facility
- J. Sewer Application

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Page 11

- K. Sewer Capacity
- L. Sewer Area Benefit Fees
- M. MSHCP
- N. TUMF

SEWER IMPROVEMENTS

68. PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO): The on-site sanitary sewer system shall connect to the existing municipal sewer system in Fourth Street.
69. PRIOR TO PLACEMENT OF PAVEMENT: The private sewer lateral that occurs in public right-of-way, shall be inspected and repaired as necessary to eliminate all deteriorated, damaged and leaking segments.

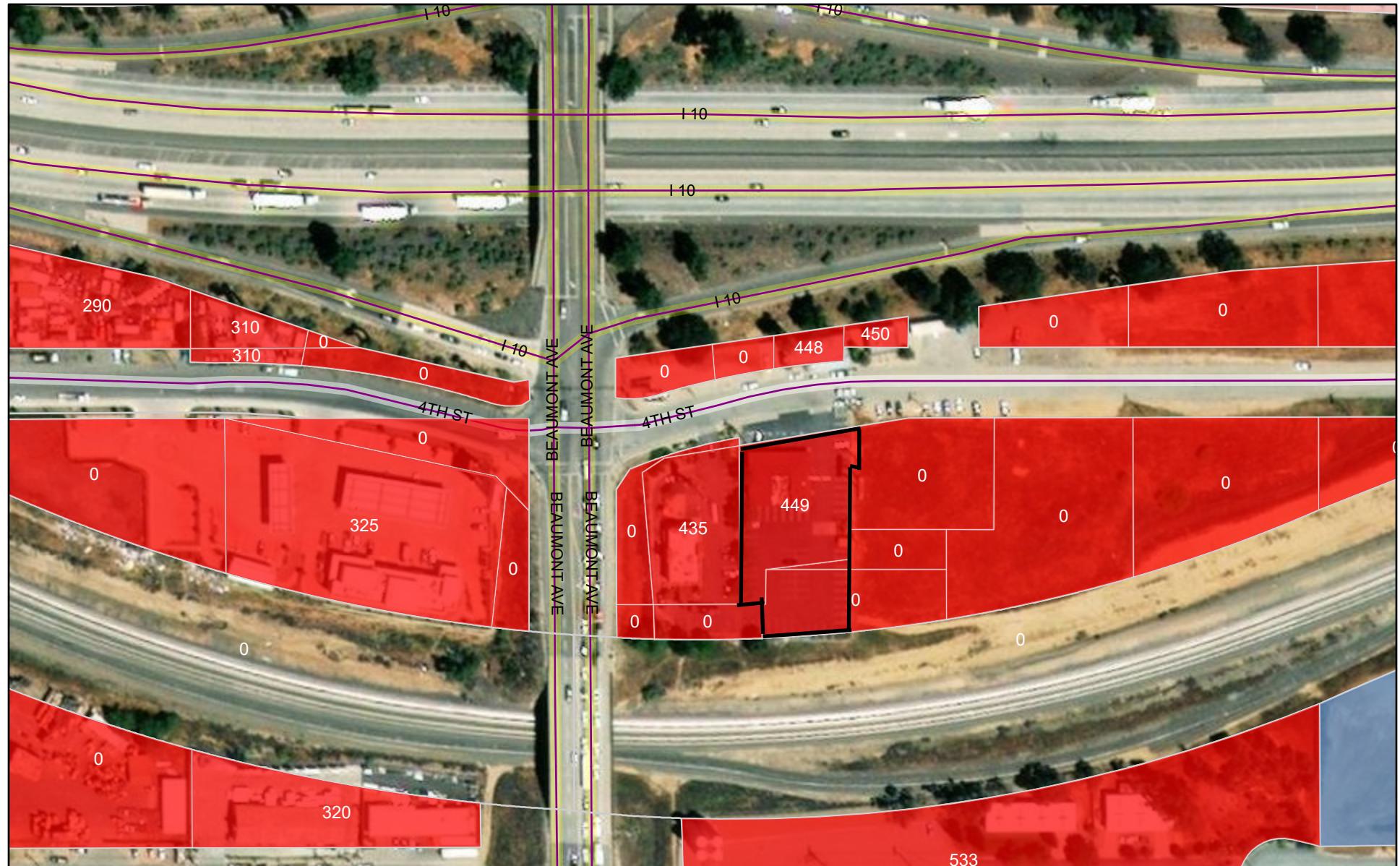
WATER IMPROVEMENTS

70. PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO): The applicant shall ensure all water valves and vault covers within paved areas are raised flushed with finished surface and painted after paving is completed.
71. PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO): The applicant shall ensure all fire hydrants; air vacs and other above ground water facilities are placed outside of sidewalk areas. Water meter boxes and vaults, valve covers, etc. may be placed within sidewalks or paved areas provided such devices are set flush with the finished surfaces and are properly rated for chosen locations as approved by the City Engineer.

End of Conditions

PP2021-0386 & CUP2021-0059 General Plan Land Use Designation Map

Item 3.



11/4/2021, 8:16:35 AM

General Plan

Industrial

Downtown Mixed Use

General Commercial

Parcel Labels

Parcels

Street Labels

Highways/Major Streets

Minor Streets

1:2,257

0 0.01 0.03 0.05 0.06 mi

0 0.03 0.05 0.1 km

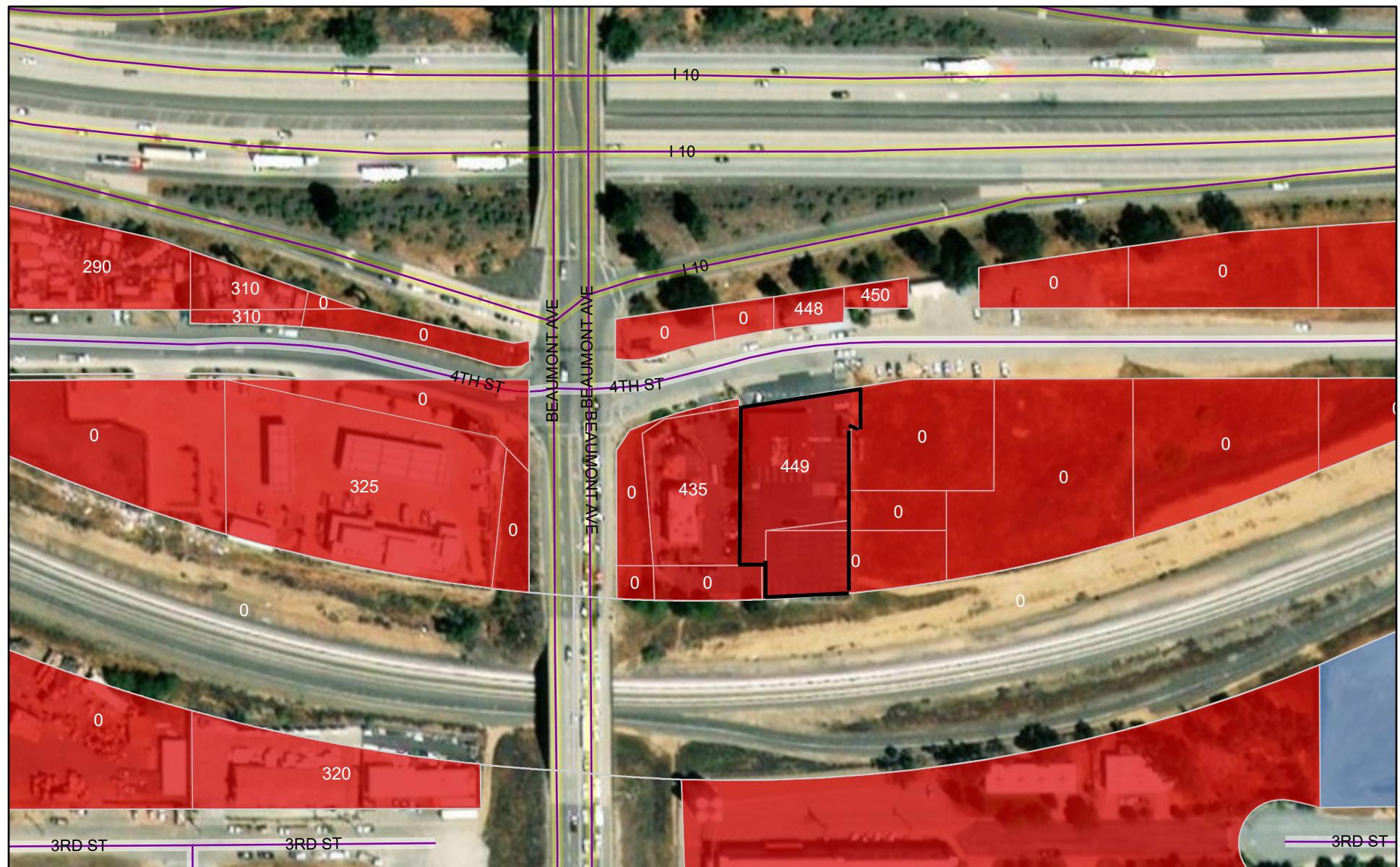
San Bernardino County, Maxar

San Bernardino County, Maxar | RCIT GIS, LAFCO | RCIT | Riverside County Assessor / RCIT |

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PP2021-0386 & CUP2021-0059 Zoning Map

Item 3.



11/4/2021, 8:14:56 AM

Zoning

Union Pacific Rail Roadway

Community Commercial

Manufacturing

Parcel Labels

Parcels

Street Labels

Highways/Major Streets

Minor Streets

1:2,257

0 0.01 0.03 0.05 0.06 mi

0 0.03 0.05 0.1 km

San Bernardino County, Maxar

San Bernardino County, Maxar | RCIT GIS, LAFCO | RCIT | Riverside County Assessor / RCIT |

50

PP2021-0386 & CUP2021-0059 Aerial Photograph

Item 3.



Legend

- Parcels
- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



0

192

385 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 11/4/2021 8:51:56 AM

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Notes

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PROJECT NARRATIVE

Starbucks

499 East 4th Street
E of SEC of East 4th Street and Beaumont Avenue
Beaumont, CA 92223



To: City of Beaumont
Planning Department
550 East 6th Street
Beaumont, CA 92223
www.BeaumontCa.gov

Re: Pre-Application

With this submittal, we are proposing 2,200 S.F. Starbucks with drive thru. The existing site is currently labeled 'Full-Service Restaurant' and is intended to remain. Directly north of the parcel is East 4TH Street, south of the parcel is the Union Pacific Railway. To the west of the parcel is 'Fast Food Restaurant' and east of the parcel is 'Vacant Commercial Land' as labeled by the City of Beaumont.



Arizona Office
2233 East Thomas Road
Phoenix, AZ 85016
Office: (602) 955-3900
rcaa.com

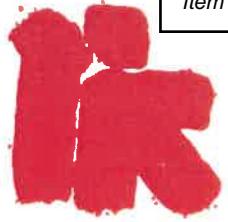
California Office
1151 Dove Street, Suite #175
Newport Beach, CA 92660
Office: (949) 954-8785

Licensed in:
Alabama
Alaska
Arizona
Arkansas
California
Colorado
Connecticut
Florida
Georgia
Hawaii
Idaho
Illinois
Indiana
Iowa
Kansas
Kentucky
Louisiana
Maryland
Massachusetts
Michigan
Minnesota
Mississippi
Missouri
Montana
Nebraska
Nevada

New Hampshire
New Jersey
New Mexico
New York
North Carolina
North Dakota
Ohio
Oklahoma
Oregon
Pennsylvania
South Carolina
South Dakota
Tennessee
Texas
Utah
Virginia
Washington
West Virginia
Wisconsin
Wyoming

Principals:

Robert W. Kubicek, AIA
Kathleen D. Rieger, VP
Steve A. Nosko, AIA
Neil A. Feaser, AIA



Owner information in regards to store operation procedures, "We're a retail coffee store, 4:30 AM to 10:00 PM for the planned store hours, 15-20 store employees, and we use espresso machines, blenders, and warming ovens for our equipment. We receive deliveries 3-5 times a week".

Currently an existing restaurant occupies the property which is to be demolished, we believe this proposed development and overall design will enrich the existing property and surrounding community.

We look forward to working with the City of Beaumont on this project.

Regards,

Neil Feaser, AIA NCARB
RKAA Architects, Inc.

THE PRESS-ENTERPRISE

1825 Chicago Ave, Suite 100
Riverside, CA 92507
951-684-1200
951-368-9018 FAX

PROOF OF PUBLICATION (2010, 2015.5 C.C.P)

Publication(s): The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc.: Starbucks Legal Ad 10.26.21 /

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

10/29/2021

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: October 29, 2021
At: Riverside, California



Legal Advertising Representative, The Press-Enterprise

BEAUMONT, CITY OF / LEGAL
550 E SIXTH ST
BEAUMONT, CA 92223

Ad Number: 0011497361-01

P.O. Number:

Ad Copy:

LEGAL ADVERTISEMENT

Item 3.

NOTICE IS HEREBY GIVEN, that the City of Beaumont will conduct public hearings to consider the matter described below. The Planning Commission's public hearing will be held at 6:00 p.m. on Tuesday, November 9, 2021, at 550 East Sixth Street, Beaumont, California.

PLOT PLAN NO. PP2021-0386 & CONDITIONAL USE PERMIT NO. CUP2021-0059 (STARBUCKS), Conduct a public hearing and consideration of a request to demolish the former Denny's restaurant and construct a 2,200 square foot coffee shop with a drive-thru on 0.64 acres located on 4th Street, east of Beaumont Avenue in the Community Commercial zone. The proposed application is exempt from the provisions of the California Environmental Quality Act (Class 32 – In-Fill Development). APNS: 418-190-004 and a portion of 418-190-004 and -005.

The applicant for this project is **ORUM CAPITAL**

Public comments can be made in person with adherence to the current COVID-19 safety protocols, using the public comment phone line or by written email. Phone-in comments will be accepted by calling the designated public comment phone line (951) 922-4845 prior to the corresponding item. Public comments shall not exceed three minutes unless otherwise authorized by Planning Commission. Written comments can be emailed to NicoleW@BeaumontCa.gov. Public comments accepted via email will be read aloud during the corresponding item of the meeting. Comments can be submitted any time prior to the meeting as well as during the meeting until the end of the corresponding item.

This meeting will be conducted utilizing teleconference communications and will be recorded for live streaming. All City of Beaumont public meetings will be made available via live streaming and made available on the City's official YouTube webpage. Please use the following link during the meeting for live stream access: BeaumontCa.gov/Livestream

Carole Kendrick
Planning Manager

Press-Enterprise: 10/29